

Design Review Board
Regular Meeting
Agenda

REVISED 11/4/2025 AT 5:09 PM

Thursday, November 6, 2025

6:00 PM

Members of the Litchfield Park Design Review Board will attend either in person, by telephone, or video conference call.
Physical access to the meeting room will be available 30 minutes prior to the meeting.

I. Call to Order

- A. The agenda and packet are available at: www.litchfieldpark.gov**
- B. A video recording of the meeting can be seen [here](#) the next business day.**

II. Pledge of Allegiance

III. Call to the Community

This is the time for citizens who would like to address the Commission on any non-agenda item. Action taken as a result of public comment will be limited to asking staff to review the matter, asking that the matter be put on a future agenda, or responding to criticism.

IV. Response to Call to the Community

V. Business

- A. Approval of Minutes** **ACTION/COMMENT**
Presenter: [Randy Proch, Planning Director](#)

Discussion and possible action to approve the August 7, 2025 regular meeting, the August 14, 2025 special meeting minutes, the September 4, 2025, and the October 2, 2025, regular meeting minutes.
- B. Approval of Backyard Pergola (PZ-25-80)** **ACTION/COMMENT**
Presenter: [Randy Proch, Planning Director](#)

Discussion and possible action to approve a new backyard pergola located at 310 W. Campbell Avenue.
- C. Guesthouse Conversion (PZ-25-86)** **ACTION/COMMENT**
Presenter: [Randy Proch, Planning Director](#)

Discussion and possible action to approve a shed to guesthouse conversion at 4599 N. Village Parkway.
- D. Expanded Front Yard Wall (PZ-25-87)** **ACTION/COMMENT**
Presenter: [Randy Proch, Planning Director](#)

Discussion and possible action to approve a modified front yard wall at 218 Laguna Drive East
- E. Remodel and New Garage (PZ-25-88)** **ACTION/COMMENT**
Presenter: [Randy Proch, Planning Director](#)

Discussion and possible action to approve a remodel and new garage located at 1093 N. Oro Vista.
- F. Carport Conversion (PZ-25-92)** **ACTION/COMMENT**
Presenter: [Randy Proch, Planning Director](#)

Discussion and possible action to approve a carport conversion located at 400 E. Palm Street.

G. Sunken Gazebo (PZ-25-94)

ACTION/COMMENT

Presenter: *Randy Proch, Planning Director*

Discussion and possible action to approve a sunken gazebo located at 13770 W. Bloomington Street.

H. City of Litchfield Park Public Works Facility (PZ-25-98)

ACTION/COMMENT

Presenter: *Randy Proch, Planning Director*

Discussion and possible action to recommend approval to the City Council for the preliminary design of the public works facility located at 105 S. Desert Avenue.

VI. Staff Report on Current Events

VII. Board Members Reports on Current Events

VIII. Executive Session

- A. An executive session pursuant to A.R.S. § 38-431.03(A)(3) for discussion or consultation for legal advice with the City Attorney regarding state law changes.**

IX. Adjournment

Susan Charnetsky, Chair

CERTIFICATION

I, Rena Dosch, do hereby certify that I caused to be posted a true and correct copy of this agenda for the Design Review Board meeting of Thursday, November 6, 2025, in the following place in the City of Litchfield Park:

- 1. City Hall, outside bulletin board
- 2. City Website

Rena Dosch, Planning Assistant

Persons with special accessibility needs should contact City Hall, (623) 935-5033, at least 48 hours prior to the meeting.



**DESIGN REVIEW BOARD
COMMUNICATION**

Business Item V.A
Approval of Minutes

To: Design Review Board Members
From: Randy Proch, Planning Director
Meeting Date: 11/6/2025

RECOMMENDED MOTION:

MOVE TO APPROVE THE AUGUST 7, 2025, REGULAR MEETING, THE AUGUST 14, 2025 SPECIAL MEETING, THE SEPTEMBER 4, 2025 AND THE OCTOBER 2, 2025 REGULAR MEETING MINUTES.

BACKGROUND/DISCUSSION:

N/A

STAFF RECOMMENDATION:

Staff recommends approval.

FINANCIAL IMPACT:

N/A

ATTACHMENTS:

1. 08072025 DRB Minutes - DRAFT
2. 08142025 DRB Minutes - DRAFT
3. 09042025 DRB Reg Minutes - DRAFT
4. 100225 DRB Reg Meeting Minutes - DRAFT



DRAFT

**Minutes of the
Design Review Board**

Thursday, August 7, 2025

Regular Meeting

I. Call to Order

The meeting was held in the Library Community Room and called to order by Chair Charnetsky at 6:01 PM. A video recording of the meeting can be viewed [here](#).

Present: Chair Susan Charnetsky, Board Member David Ledyard, Board Member Rachel Dudley, Commissioner Bob Darre, Council Member Lisa Brainard Watson

Staff: Randy Proch, Planning Director; Rena Dosch, Planning Assistant Attendees:

II. Pledge of Allegiance

Chair Charnetsky led the Pledge of Allegiance.

III. Call to the Community

There were no requests to speak.

IV. Response to Call to the Community

There were no requests to speak during the June 5, 2025, regular meeting.

V. Business

A. Town Home Addition (PZ-25-49)

APPROVED

The additions presented will update the existing town home through changes in massing and scale, while maintaining all development standards. The additional garage for golf carts does not exceed the maximum driveway width nor coverage allowances. The corner lot does require a minimum setback of 10 feet, which is not clearly illustrated in the graphics provided adjacent to the new covered deck. The proposal will match all existing colors, materials, and roofing styles.

Staff has not received any public comments on this proposal.

MOVE TO APPROVE THE PROPOSED TOWN HOME ADDITION FILE NO. PZ-25-49 LOCATED AT 100 E. LAGUNA ROYALE DRIVE, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATIONS 1 AND 2

MOVER Board Member Dudley, **SECONDER** Council Member Brainard Watson
AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre,
Council Member Brainard Watson
5 - 0 - 0 Passed

B. Wall Relocation (PZ-25-48)

APPROVED

The wall expansion will create a new north side yard on the existing lot. At the time of construction, the north side of the home acted as the wall, with the yard being enclosed from the corner of the home east towards the adjoining key lot. A chamfer was also included in case the neighbor had a driveway located on the west side. The street side yard cannot be any less than half the required front yard setback of 30 feet. Therefore, the wall extension cannot be any wider than 11 feet from the home. The chamfer is no longer required as the key lot driveway is located on the far side of the property. The wall will match in color and be finished in stucco.

Staff has not received any public comments on this proposal.

MOVE TO APPROVE THE PROPOSED WALL RELOCATION FILE NO. PZ-25-48 LOCATED AT 117 E. FAIRWAY CIRCLE, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATIONS 1 AND 2

MOVER Board Member Ledyard, **SECONDER** Commissioner Darre
AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre,
Council Member Brainard Watson
5 - 0 - 0 Passed

C. New Freestanding Garage (PZ-25-50)

APPROVED

As part of the stipulations, the area between the sidewalk and street will contain pavers to prevent any rock tracking out, similar to other houses along Village Parkway. The applicant has provided a basic rendering of the proposed elevations, though the software limitations were not able to make

an exact match. The proposal will match in architectural style, roofing style and shingle type, as well as primary building colors, which is not directly reflected in the exhibits. The development standards for the zoning district will be met with an additional stipulation that the two structures be attached through a trellis or arbor element, as the garage alone exceeds the maximum size for accessory structures.

Staff has not received any public comments on this proposal.

MOVE TO APPROVE THE PROPOSED FREESTANDING GARAGE, FILE NO. PZ-25-50, LOCATED AT 4889 N. VILLAGE PARKWAY, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATION 1. THROUGH 4

MOVER Board Member Dudley, **SECONDER** Board Member Ledyard

AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre, Council Member Brainard Watson
5 - 0 – 0 Passed

D. New Garage Addition (PZ-25-51)

APPROVED

The garage addition will utilize the existing driveway and expand at the rear corner of the home. The garage will contain a parapet roof matching the rear of the home and reduce the overall height. The location is ideal as it is tucked away from the front of the home. The architectural style, color, and finishes will match the rest of the home.

Staff has not received any public comments on this proposal.

MOVE TO APPROVE THE PROPOSED GARAGE ADDITION, FILE NO. PZ-25-51, LOCATED AT 14225 W. GREENTREE DRIVE SOUTH, SUBJECT TO EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATIONS 1. AND 2

MOVER Board Member Ledyard, **SECONDER** Commissioner Darre

AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre, Council Member Brainard Watson

5 - 0 – 0 Passed

E. Wall Replacement (PZ-25-53)

APPROVED

This is the first request to bring a residential lot into conformance with the requirement for view fencing adjoining a public space. The walls along Scout Park on either side are solid block, unpainted and not stucco. The proposal would include block columns and wrought iron black fencing between them. The applicant would paint the block (no stucco) to match the home. DRB does not require stucco as part of the improvements. Neither property on the left or right has paint or stucco, so Staff supports this decision.

Staff has not received any public comments on this proposal.

MOVE TO APPROVE THE PROPOSED WALL REPLACEMENT, FILE NO. PZ-25-53, LOCATED AT 203 W. LLANO DRIVE, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATION 1

MOVER Board Member Dudley, **SECONDER** Council Member Brainard Watson

AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre, Council Member Brainard Watson

5 - 0 – 0 Passed

F. Garage Remodel (PZ-25-58)

APPROVED

The proposal is to remodel the existing garage into livable space and add a new garage on the west side of the home. The property is located at 203 W. Llano Drive and is zoned R1-15.

The remodel will create a modern home with a strong mix of materials including the existing slump block, metal and brick veneer accents, and a new garage portion finished with stucco and a glass door. These will create a unified expression with consistent paint colors across the different

materials. The garage is a single wide, dual length tandem garage to address the required setbacks at this location. All design and development standards have been met.

Staff has not received any public comments on this proposal.

MOVE TO APPROVE A GARAGE REMODEL, FILE NO. PZ-25-58, LOCATED AT 203 W. LLANO DRIVE, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATIONS 1. AND 2

MOVER Board Member Dudley, **SECONDER** Council Member Brainard Watson

AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre, Council Member Brainard Watson

5 - 0 – 0 Passed

G. New Facade (PZ-25-54)

APPROVED

The facade update is intended to match the previous approval in materials and design elements. The previous approval has not proceeded with the building permit yet, as this next phase of improvement was planned before. Upon approval, both projects would move forward together to ensure a cohesive design across all elements. There is no expansion or change to the building footprint. The design and development standards for the property have been met.

Staff has not received any public comments on this proposal.

MOVE TO APPROVE A NEW FACADE, CASE NO. PZ-25-54, LOCATED AT 130 E. ESTERO LANE, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATION 1

MOVER Council Member Brainard Watson, **SECONDER** Board Member Ledyard

AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre, Council Member Brainard Watson

5 - 0 – 0 Passed

H. Updated Backyard Structures (PZ-25-56)

APPROVED

This proposal is an update to a previous DRB approved plan that included a variance request. The BOA did approve the variance, which reduced the rear setback to 6'-9" to accommodate the proposal at the time.

The current proposal will utilize that allowance for the freestanding pergola. The pergola generally matches the existing home in materials and design, with some alterations that do not detract from the home.

The applicant is also requesting approval for a pre-built shed. The proposed shed generally matches in color and roofing style, but not in building material. At the location depicted, the

structure is almost completely screened from public view except for the roof, as the structure is taller than the adjacent walls.

Staff supports the proposed shed and pergola and has not received any public comments on this proposal.

MOVE TO APPROVE THE PROPOSED BACKYARD STRUCTURES, FILE NO. PZ-25-56, LOCATED AT 514 E. FAIRWAY DRIVE, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATIONS 1. AND 2

MOVER Board Member Dudley, **SECONDER** Commissioner Darre

AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre, Council Member Brainard Watson

5 - 0 – 0 Passed

I. New Guest Home (PZ-25-57)

APPROVED

The proposed guest house as shown does not comply with Section 31.03(d) of the Zoning Code, which requires a step-back setback for structures taller than 10 feet. To support the application, the applicant will need to:

1. Decrease the size of the guest house to meet the requirements
2. Provide a fire separation wall to reduce the 10' requirement to the main home
3. Attach the guest house to the main home through a trellis or other connecting member.

The applicant is expected to provide an update and direction requested as part of presentation of the item during the meeting. The remaining requirements of the Zoning Code have been addressed so long as the guest house has on-site parking, shall not be leased separately from the principal building, shall not have separate utility connections, and shall not have cooking facilities.

Staff has not received any public comments on this proposal.

MOVE TO APPROVE THE PROPOSED GUEST HOUSE, FILE NO. PZ-25-57, LOCATED AT 4822 N. BARRANCO DRIVE, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATIONS 1. THROUGH 3

MOVER Board Member Ledyard, **SECONDER** Council Member Brainard Watson

AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre, Council Member Brainard Watson

5 - 0 – 0 Passed

J. Pergola Structures (PZ-25-64)

APPROVED

The proposed structures represent an update from a previous code enforcement case from earlier this year. The structures at that time did not conform to Zoning Code requirements nor received a

building permit prior to construction. The applicant has made significant changes to meet design and development code standards, which is represented in the current application.

The proposed posts would be metal, though the conformance for design standards would be met in wood portions being color matched to the slump block home and asphalt shingles matching as well.

Staff has not received any public comments on this proposal.

MOVE TO APPROVE THE PROPOSED PERGOLAS, FILE NO. PZ-25-64, LOCATED AT 420 S. LILA CIRCLE, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATIONS 1. AND 2

MOVER Board Member Ledyard, **SECONDER** Commissioner Darre

AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre, Council Member Brainard Watson

5 - 0 – 0 Passed

VI. Staff Report on Current Events

Mr. Proch thanked the Board for their consideration to hold a special meeting on the following Thursday, August 14, 2025. He discussed the ongoing projects happening at La Loma, specifically with the school and the library. He discussed Lots 1 & 2 in Litchfield Square have closed, construction will break ground in the next 90 days, an extension that was approved in the Council Meeting the night before.

VII. Board Members Reports on Current Events

There were no reports provided.

VIII. Adjournment

MOVE TO ADJOURN THE REGULAR MEETING

MOVER Board Member Ledyard, **SECONDER** Board Member Dudley

AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre, Council Member Brainard Watson

5 - 0 – 0 Passed

APPROVED:

DESIGN REVIEW BOARD

Susan Charnetsky, Chair

CERTIFICATION

I, Rena Dosch, hereby certify that the foregoing minutes are a true and correct copy of the minutes of the meeting of the Design Review Board of the City of Litchfield Park held on Thursday, August 7, 2025. I further certify that the meeting was duly called and held and that a quorum was present.

Rena Dosch, Planning Assistant

I. Call to Order

The meeting was held in the Library Community Room and called to order by Acting Chair Dudley at 6:21 PM. A video recording of the meeting can be viewed [here](#).

Present: Chair Susan Charnetsky, Board Member Rachel Dudley, Commissioner Bob Darre

Absent: Vice Chair David Ledyard, Council Member Lisa Brainard Watson

Staff: Randy Proch, Planning Director; Rena Dosch, Planning Assistant

II. Pledge of Allegiance

Acting Chair Dudley, called to defer this item, as the Pledge of Allegiance was recited during the Board of Adjustment meeting immediately preceding this meeting.

III. Call to the Community

There were no requests to speak.

IV. Response to Call to the Community

There were no requests to speak during the August 7, 2025, regular meeting.

V. Business

A. Approval of Minutes

TABLED

MOVE TO TABLE THE APPROVAL OF THE JUNE 5, 2025, REGULAR MEETING MINUTES

MOVER Chair Charnetsky, **SECONDER** Commissioner Darre

AYE: Chair Charnetsky, Board Member Dudley, Commissioner Darre

3 - 0 – 2 Passed

B. Pathway Solid Wall (PZ-25-61)

APPROVED

The proposal is to construct a solid block wall at gate at the rear of the yard. The property is located at 510 N. Old Litchfield Road and zoned RE. The requested wall is in conjunction with a Variance request to

allow the solid block wall. The property backs to the pathway, which requires a view fence.

If the variance is granted, the application can proceed as presented. The wall will be painted and finished in stucco. A pedestrian gate will also be included in order to access the walking trails.

Staff has not received any public comments on this proposal, and two additional stipulations were added at the Board's request:

1. Two 4-foot gates may be added to the rear wall to create a second opening no wider than eight feet.
2. Any disturbance to vegetation or rocks outside of the property line must be restored.

MOVER Board Member Dudley, **SECONDER** Chair Charnetsky

AYE: Chair Charnetsky, Board Member Dudley, Commissioner Darre

3 - 0 – 2 Passed

C. Pathway Solid Wall (PZ-25-63)

APPROVED

The proposal is to construct a solid block wall at gate at the rear of the yard. The property is located at 512 N. Old Litchfield Road and zoned RE. The requested wall is in conjunction with a variance request to allow the solid block wall. The property backs to the pathway, which requires a view fence.

If the variance is granted, the application can proceed as presented. The wall will be painted and finished in stucco, and a pedestrian gate will also be included in order to access the walking trails.

Staff has not received any public comments on this proposal, and one additional stipulation was added at the Board's request:

1. Any disturbance to vegetation or rocks outside of the property line must be restored.

MOVER Board Member Dudley, **SECONDER** Commissioner Darre

AYE: Chair Charnetsky, Board Member Dudley, Commissioner Darre

3 - 0 – 2 Passed

D. Garage Pergola (PZ-25-67)

APPROVED

The proposal is to construct a lean-to pergola against the guest home located in the rear yard. The property is located at 512 N. Old Litchfield Road and zoned RE. The proposed structure would be attached to the south side of the guest home. The structure would utilize the existing wall to be the rear support and have two columns on the south end. The proposed Spanish s-tile roof would match the existing home.

Staff has not received any public comments on the proposal.

MOVER Board Member Dudley, **SECONDER** Commissioner Darre
AYE: Chair Charnetsky, Board Member Dudley, Commissioner Darre
3 - 0 – 2 Passed

VI. Staff Report on Current Events

There were no reports provided.

VII. Board Members Reports on Current Events

There were no reports provided.

VIII. Adjournment

MOVE TO ADJOURN THE REGULAR MEETING

MOVER Board Member Dudley, **SECONDER** Commissioner Darre
AYE: Chair Charnetsky, Board Member Dudley, Commissioner Darre
3 - 0 – 2 Passed

Acting Chair Dudley adjourned the special meeting at 6:49 PM.

APPROVED:

DESIGN REVIEW BOARD

Susan Charnetsky, Chair

CERTIFICATION

I, Rena Dosch, hereby certify that the foregoing minutes are a true and correct copy of the minutes of the meeting of the Design Review Board of the City of Litchfield Park held on Thursday, August 14, 2025. I further certify that the meeting was duly called and held and that a quorum was present.

Rena Dosch, Planning Assistant

Thursday, September 4, 2025

Regular Meeting

I. Call to Order

The meeting was held in the Library Community Room and called to order by Vice Chair Ledyard at 6:00 PM. A video recording of the meeting may be viewed [here](#).

Present: Chair Susan Charnetsky (Zoom), Board Member David Ledyard, Board Member Rachel Dudley, Commissioner Bob Darre (Zoom), Council Member Lisa Brainard Watson

Staff: Randy Proch, Planning Director; Rena Dosch, Planning Assistant

II. Pledge of Allegiance

Vice Chair Ledyard led the Pledge of Allegiance.

III. Call to the Community

There were no requests to speak.

IV. Response to Call to the Community

There were no requests to speak during the August 14, 2025, special meeting.

V. Business

A. Approval of Minutes

APPROVED

MOVE TO APPROVE THE JUNE 5, 2025, REGULAR MEETING MINUTES

MOVER Council Member Brainard Watson, **SECONDER** Board Member Dudley

AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre, Council Member Brainard Watson

5 - 0 - 0 APPROVED

B. Home and Garage Addition (PZ-25-66)

APPROVED

The proposal is to create a new garage, living space, and rear patio to an existing home. The property is located at 204 N. Florence Avenue and is zoned R1-15. The addition is being brought back before the Design Review Board from a previous case heard in October 2023 since the application had expired and has been resubmitted.

The proposed addition would utilize the full extent of the side and front setbacks by expanding the overall structure on those sides, while maintaining a larger backyard without further expansion.

The proposed facade would be modernized and blended into the existing architecture, which would be a small portion of the overall front plane of the home. All other portions of the structure, walls, fencing, and yard would remain as-is.

Staff has not received any public comments on this proposal.

MOVE TO APPROVE THE PROPOSED TOWN HOME ADDITION FILE NO. PZ-25-66 LOCATED AT 204 N. FLORENCE AVENUE, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATIONS 1 AND 2.

MOVER Board Member Dudley, **SECONDER** Commissioner Darre

AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre, Council Member Brainard Watson

5 - 0 – 0 APPROVED

C. Delana Mae Downtown Building Final (PZ-25-30)

APPROVED

The proposal is to construct a three-story mixed-use building, which would include 20 condominium units up to 4,000 square feet on the second and third floors along with 20,000 square feet of indoor commercial space on the first floor with outdoor dining options on Lot 13 and site improvements including a large public parking lot and private resident drive aisle to access private garage and driveways on Lot 14 within Litchfield Square. The property is located at the southwest corner of Desert Avenue and Honeysuckle Street and is zoned City Center (CTR).

This is the second presentation to the Design Review Board as the applicant has revised and included updates to the preliminary designs shown in June. The overall appearance, mass, and layout has remained unchanged. The subtle updates include additional fenestration and breaks in the facades, namely the south side of the mixed-use building and freestanding garage building. The parking lot layout has been finalized to maximize the amount of spaces for this proposal along with the City Hall building (Lot 15).

As stipulated below and in the Development Agreement, a number of offsite improvements will also be included with the project along Honeysuckle Street, such as EV charging stations, sidewalk and landscape enhancements, and additional district signage. Wigwam Boulevard will also be updated, to include angled parking spaces from Desert Avenue to La Loma Avenue.

Proposals within the lots of Litchfield Square are only required to submit a Design Review application because, generally, the City of Litchfield Park has completed all associated civil improvements as part of the infrastructure surrounding each lot. Final design may be impacted by this proposal due to civil plans not being provided as part of this application.

Staff has not received any public comments.

MOVE TO RECOMMEND APPROVAL TO CITY COUNCIL FOR THE PROPOSED MIXED-USE DOWNTOWN BUILDING, FILE NO. PZ-25-30, LOCATED AT THE SOUTHWEST CORNER OF DESERT AVENUE AND HONEYSUCKLE STREET, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATIONS 1 THROUGH 6.

MOVER Board Member Dudley, **SECONDER** Commissioner Darre

AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre

ABSTAIN: Council Member Brainard Watson

4 - 0 – 1 APPROVED

VI. Staff Report on Current Events

Mr. Proch stated that construction is days away from beginning at the school at the Hilltop and the park is within formal review as well.

VII. Board Members Reports on Current Events

There were no reports provided.

VIII. Adjournment

MOVE TO ADJOURN THE REGULAR MEETING

MOVER Board Member Dudley, **SECONDER** Council Member Brainard Watson

AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre, Council Member Brainard Watson

5 - 0 – 0 APPROVED

Vice Chair Ledyard adjourned the regular meeting at 6:32 PM.

APPROVED:

Susan Charnetsky, Chair

CERTIFICATION

I, Rena Dosch, hereby certify that the foregoing minutes are a true and correct copy of the minutes of the meeting of the Design Review Board of the City of Litchfield Park held on Thursday, September 4, 2025. I further certify that the meeting was duly called and held and that a quorum was present.

Rena Dosch, Planning Assistant

I. Call to Order

The meeting was held in the Library Community Room and called to order by Vice Chair Ledyard at 6:06 PM. A video recording of the meeting can be viewed [here](#).

Present: Chair Susan Charnetsky, Board Member David Ledyard, Board Member Rachel Dudley, Commissioner Bob Darre, Council Member Lisa Brainard Watson

Staff: Randy Proch, Planning Director; Rena Dosch, Planning Assistant

II. Pledge of Allegiance

Vice Chair Ledyard led the Pledge of Allegiance.

III. Call to the Community

There were no requests to speak.

IV. Response to Call to the Community

There were no requests to speak during the September 4, 2025.

V. Business

A. Approval of Backyard Shed

APPROVED

The proposal is to modify a pre-built shed in the rear yard. The property is located at 502 E. Wigwam Boulevard and is zoned R1-15.

The homeowner purchased a large pre-built shed to place in the rear yard. Upon installation, the structure was too large for the proposed location and did not match the home's architecture. The applicant has proposed to modify the existing shed to rebuild the roof and paint it to match the home. The new location and design meets all criteria.

Staff has not received any public comments on this proposal.

MOVE TO APPROVE THE PROPOSED MODIFIED SHED, FILE NO. PZ-25-74, LOCATED AT 502 E. WIGWAM BOULEVARD, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATION 1.

MOVER Council Member Brainard Watson, **SECONDER** Board Member Dudley

AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Council Member Brainard Watson

4 - 0 - 1 Passed

B. Approval of Arizona Room Conversion

APPROVED

The proposal is to convert an Arizona Room to livable space along with associated site improvements. The property is located at 519 Redondo Drive North and zoned R1-15.

The applicant is proposing to change the existing Arizona Room to livable space in the rear yard of the home, along with updating the concrete shingle roof to asphalt shingles to reduce the dead load, and replace the existing chain link fence with concrete block, unfinished to match the adjacent homes along the rear alley, to also include a gate for vehicular entry.

The proposed conversion will utilize matching siding material found in the front of the home as the facade is a mix of materials. The updated shingles will create a classic feel consistent with the surrounding homes. The updated wall request will require DRB approval to not include stucco and paint. The gate can be permissible, but no RV storage is permitted.

Staff has not received any public comments on this proposal.

MOVE TO APPROVE THE PROPOSED ARIZONA ROOM CONVERSION, FILE NO. PZ-25-76, LOCATED AT 519 REDONDO DRIVE NORTH, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATION 1.

MOVER Board Member Dudley, **SECONDER** Commissioner Darre

AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre, Council Member Brainard Watson

5 - 0 - 0 Passed

C. Approval of New Pergolas

APPROVED

The proposal is to add a front yard attached pergola and patio area pergola onto an existing home. The property is located at 211 Bahia Lane East and zoned RC-PD.

The proposed front yard pergola would be attached to the home and create a porch space at the front door. The second location is adjacent to the side property line and would create dappled

shade on the south side of the home. The homes in this area already contain 1-hour fire walls and the proposed structure is fire-resistant. The color would be dark brown to match the trim of the home.

Staff has not received any public comments on this proposal.

MOVE TO APPROVE THE PROPOSED PERGOLAS, FILE NO. PZ-25-78, LOCATED AT 211 BAHIA LANE EAST, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATION 1.

MOVER Council Member Brainard Watson, **SECONDER** Board Member Dudley
AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre, Council Member Brainard Watson
5 - 0 – 0 Passed

D. Approval of New Pergola

APPROVED

The proposal is to build a 450 square foot cantilevered pergola in the rear yard. The property is located at 390 E. Campina Drive and is zoned R1.

The applicant is proposing a large pergola in the rear yard against Camelback Road. The pergola will cover an existing improved space. The property is burdened by a public utility easement requiring an 8' separation from the rear yard, which will require a 2' adjustment back towards the home. The proposed size and location has room to make the adjustment. The pergola will compliment the home's architecture.

Staff has not received any public comments on this proposal.

MOVE TO APPROVE THE PROPOSED PERGOLA, FILE NO. PZ-25-79, LOCATED AT 390 E. CAMPINA DRIVE, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATIONS 1. AND 2.

MOVER Board Member Dudley, **SECONDER** Council Member Brainard Watson
AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre, Council Member Brainard Watson
5 - 0 – 0 Passed

E. Approval of Backyard Pergola

TABLED

The applicant/representatives were not present.

MOVE TO TABLE THIS ITEM UNTIL THE APPLICANT/REPRESENTATIVE CAN BE PRESENT

MOVER Board Member Ledyard, **SECONDER** Board Member Dudley
AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre, Council Member Brainard Watson
5 - 0 – 0 Passed

F. Recommendation of Approval of Preliminary Hilltop Park Design**APPROVED**

The proposal is to vegetate, beautify, and reestablish a public gathering space located around The Hilltop School for the Arts, P.W. Litchfield Heritage Center, and Maricopa County Branch Library. The park space is located at the Rancho La Loma Homestead, 5374 N. Litchfield Road and is zoned Agritourism.

The yet-to-be-named park space is intended to compliment the numerous new projects located at Rancho La Loma, also known as The Hilltop. Staff have been working with the various entities involved as well as utilizing the public comments received through online and in-person surveys, open houses, and direction from the Recreation and Public Grounds Commission to create a phased park space on all remaining portions of the 21-acre site. The park space is approximately 9 acres, which includes the northern portion of the site, the two eastern cottages, bandstand and stage, former pump house and bathroom buildings, water tank, and western sunset terraces.

All aspects of the design have used public feedback for programming, amenities, and attractions, which include walking trails throughout, botanical gardens focused on Sonoran Desert plants, cacti, and roses, rentable spaces at the bandstand and terraces, a centralized event space near the cottages and library, a playground space tucked away from adjacent uses, and storage and maintenance space for the Public Works department. The flora will be diversified and left to grow, with only seasonal cutbacks with a peacock-themed entry feature as you enter from Litchfield Road. The amount of natural turf is minimized and carefully placed for optimal use and historic revegetating, especially on the sunset terraces. The plan includes several new buildings including multiple bathrooms and ramadas and is envisioned to include new uses for Cottage #2 and Cottage #3, just east of the museum space.

Access is managed through an expanded parking area along the north, gated vehicular access for events on the western terrace, ADA parking stalls near the event space and adjacent to the museum, with Fire Department access embedded into the landscaping through a compacted DG path connecting the northern and southern parking lots, as well as a turnaround area near the cottages.

MOVE TO RECOMMEND APPROVAL TO THE CITY COUNCIL FOR THE PRELIMINARY HILLTOP PARK DESIGN, FILE NO. PZ-25-70, LOCATED AT 5374 N. LITCHFIELD ROAD AT LA LOMA SUBJECT TO THE EXHIBIT PROVIDED

MOVER Board Member Dudley; **SECONDER** Board Member Darre

AYES Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre,

RECUSED: Council Member Brainard Watson

4 - 0 - 1 Passed

VI. Staff Report on Current Events

Mr. Proch spoke briefly about the recent state law change and welcomed the Board Members to reach out to him should they have any questions regarding it.

VII. Board Members Reports on Current Events

There were no reports provided.

VIII. Adjournment

MOVE TO ADJOURN THE REGULAR MEETING

MOVER Commissioner Darre, **SECONDER** Board Member Dudley

AYE: Chair Charnetsky, Board Member Ledyard, Board Member Dudley, Commissioner Darre, Council Member Brainard Watson

5 - 0 - 0

Vice Chair Ledyard adjourned the regular meeting at 7:12 PM.

**APPROVED:
DESIGN REVIEW BOARD**

Susan Charnetsky, Chair

CERTIFICATION

I, Rena Dosch, hereby certify that the foregoing minutes are a true and correct copy of the minutes of the meeting of the Design Review Board of the City of Litchfield Park held on Thursday, October 2, 2025. I further certify that the meeting was duly called and held and that a quorum was present.

Rena Dosch, Planning Assistant



**DESIGN REVIEW BOARD
COMMUNICATION**

Business Item V.B
Approval of Backyard Pergola (PZ-
25-80)

To: Design Review Board Members
From: Randy Proch, Planning Director
Meeting Date: 11/6/2025

RECOMMENDED MOTION:

MOVE TO APPROVE THE PROPOSED BACKYARD PERGOLA, FILE NO. PZ-25-80, LOCATED AT 310 W. CAMPBELL AVENUE, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATION 1.

BACKGROUND/DISCUSSION:

The proposal is to build a freestanding pergola structure in the rear yard. The home is located at 310 W. Campbell Avenue and is zoned R1-15.

The applicant is requesting to build an approximately 350 square foot freestanding pergola in the rear yard made of a composite material. The structure will be held up by four posts at a slight slant to allow drainage to flow off. The architecture will blend with the home's design and the location was specifically chosen to be outside the bounds of the Public Utility Easement in along the rear property line and maintain the required 10' separation from the primary structure (the home).

Staff has not received any public comments on this proposal.

STAFF RECOMMENDATION:

Staff requests that Design Review Board take the following action:

Approve the proposal, subject to the exhibits provided by the applicant, and stipulation 1:

1. A Building Permit issued by the City will be required before any construction is to occur.

FINANCIAL IMPACT:

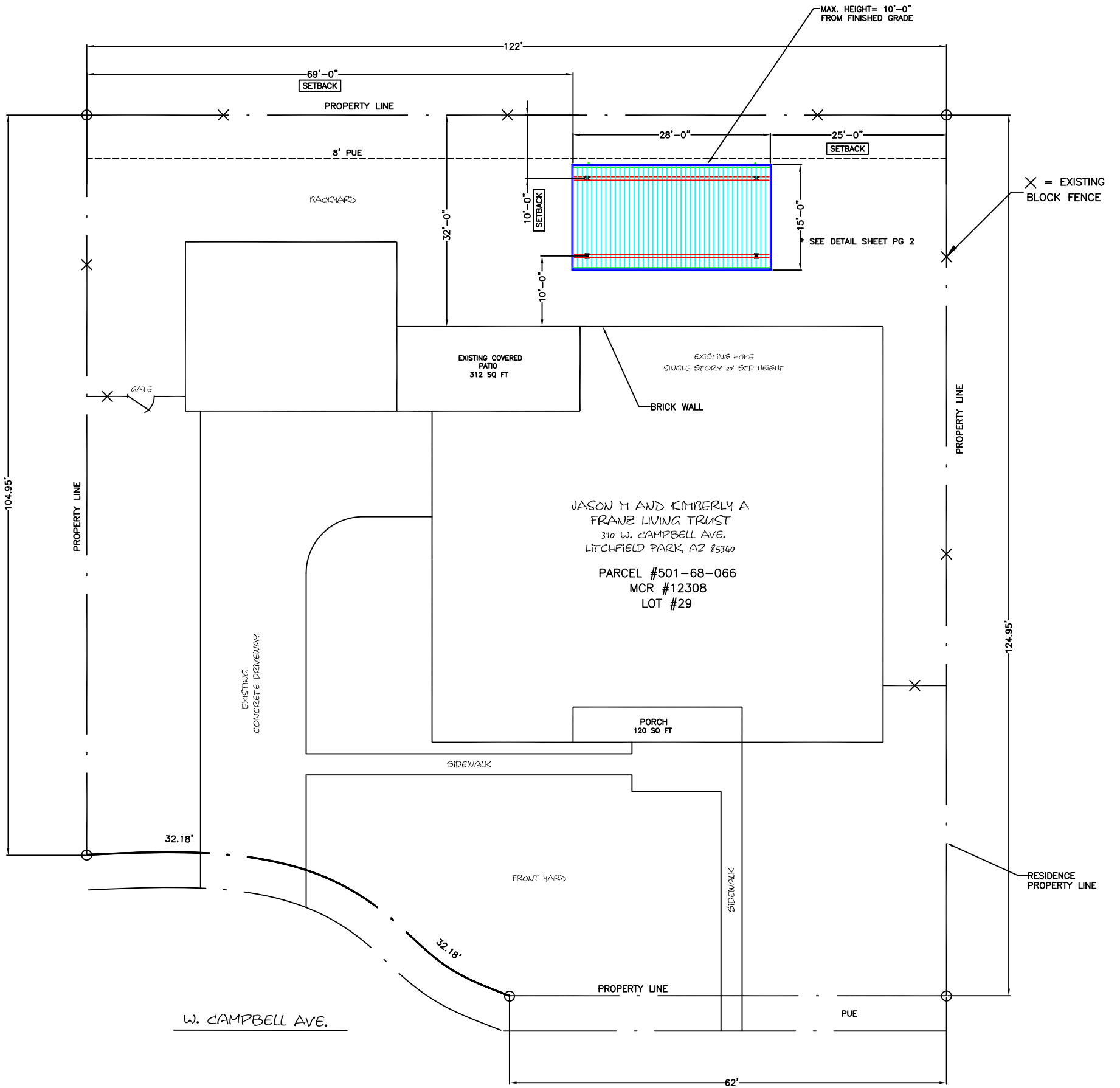
N/A

ATTACHMENTS:

1. PZ-25-80 Planset

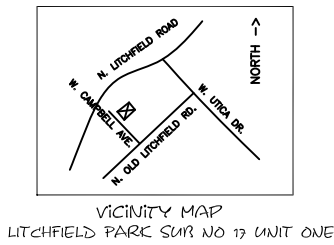
REV A

ALUMAWOOD PATIO COVER SITE PLAN



JASON M AND KIMBERLY A
FRANZ LIVING TRUST
310 W. CAMPBELL AVE.
LITCHFIELD PARK, AZ 85340
PARCEL #501-68-066
MCR #12308
LOT #29

LOT & RESIDENCE COVERAGE	
OVERALL LOT SQ FT	14,387
LIVING SQ FT	2,963
UNDER ROOF SQ FT	4,556
NEW COVER SQ FT	420



By: Cool Pergola
(623) 217-1404

0 FT 5 FT 10 FT

NORTH

PAGE 1 OF 2

SCALE = 1/8" = 1'-0"

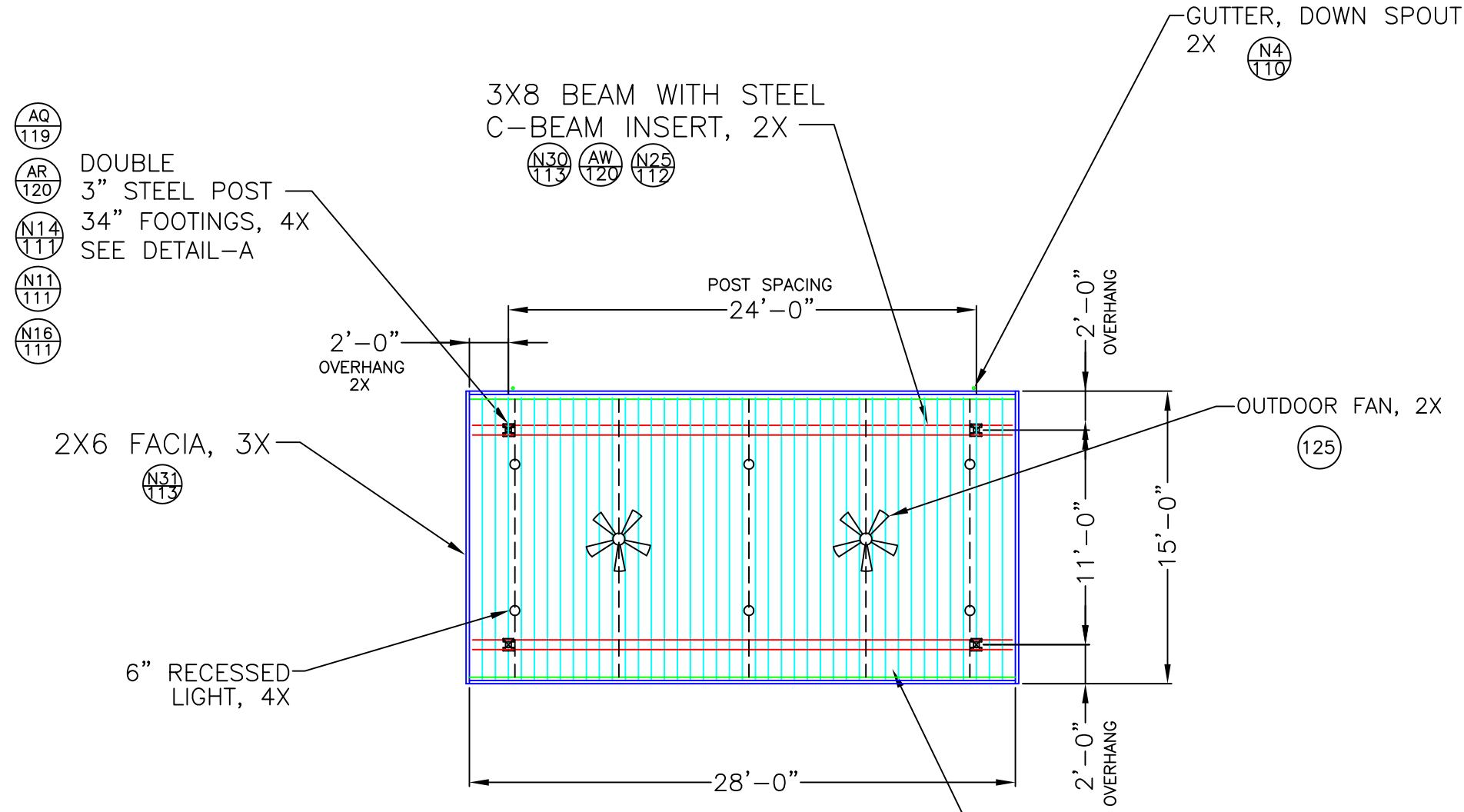
JASON M AND KIMBERLY A
FRANZ LIVING TRUST
310 W. CAMPBELL AVE.
LITCHFIELD PARK, AZ 85340

PARCEL #501-68-066
MCR #12308
LOT #29

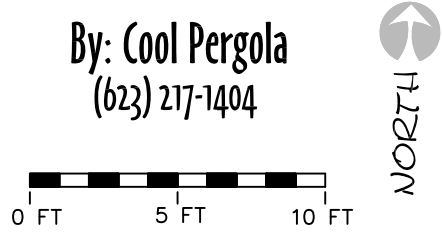
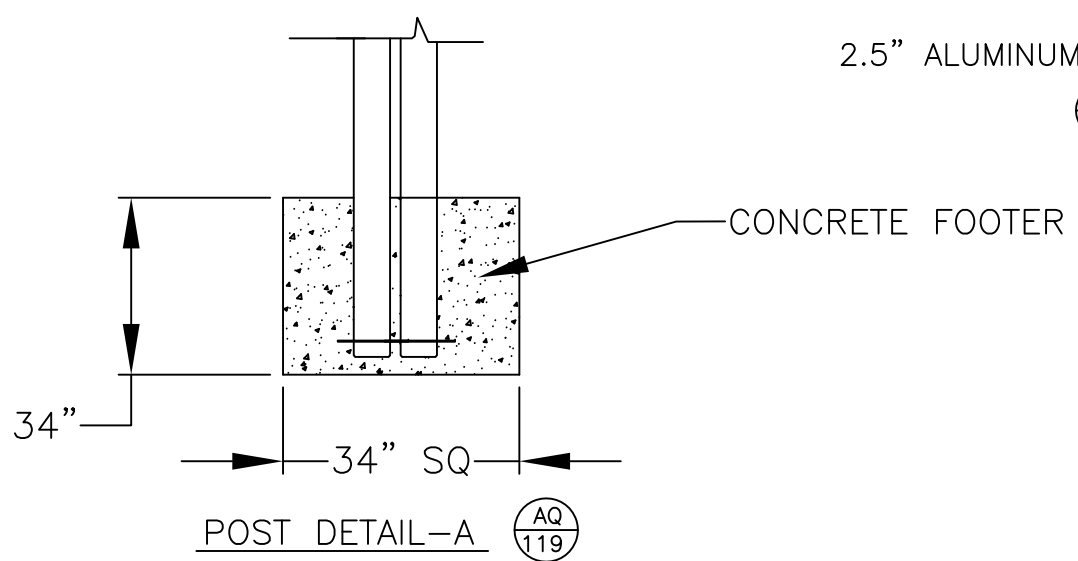
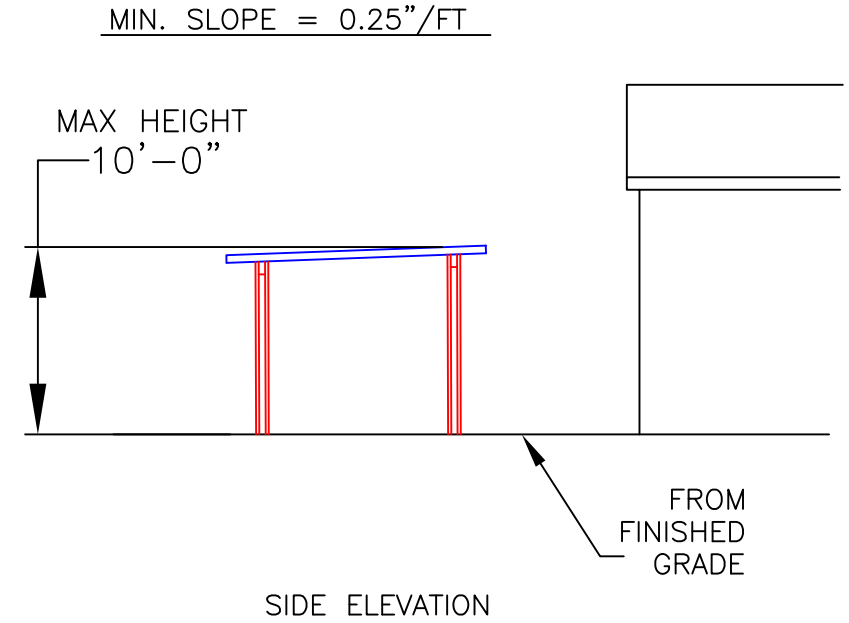
REV A

RED= 3X8 BEAM
BLUE= 2X6 RAFTER
CYAN= 2.5 ALUMINUM PANS
GREEN= GUTTER

DETAIL PLAN



ALUMINUM PATIO COVER
 PROPOSED COVER – SOLID COVER
 (SEE ATTACHED SEALED ENGINEERING DWGS)
 TYPE= STANDALONE
 COLOR= BLACK
 CEILING COLOR= DRIFTWOOD
 END CUTS = BEVELED
 POST SIZE= 3"X3" STEEL, 2 PER POST
 POST OVERALL SIZE= 8"X9"
 FACIA SIZE= 2"X6"
 BEAM SIZE= 3"X8"



PAGE 2 OF 2 SCALE= 1/8" = 1'-0"

JASON M AND KIMBERLY A
 FRANZ LIVING TRUST
 310 W. CAMPBELL AVE.
 LITCHFIELD PARK, AZ 85340

PARCEL #501-68-066
 MCR #12308
 LOT #29

*(SEE ATTACHED ENGINEERING SPECIFICATIONS FOR MORE DETAILS)



**DESIGN REVIEW BOARD
COMMUNICATION**

Business Item V.C
Guesthouse Conversion (PZ-25-
86)

To: Design Review Board Members
From: Randy Proch, Planning Director
Meeting Date: 11/6/2025

RECOMMENDED MOTION:

MOVE TO APPROVE THE PROPOSED SHED CONVERSION, FILE NO. PZ-25-86, LOCATED AT 4599 N. VILLAGE PARKWAY, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATIONS 1 THROUGH 5.

BACKGROUND/DISCUSSION:

The proposal is to improve and enlarge an existing backyard accessory structure shed into a guesthouse. The property is located at 4599 N. Village Parkway and is zoned R1-8 PD.

The existing 192 square foot shed is located in the backyard of the home, approximately eight and a half feet from the side property line and nine feet from the rear property line. The additional square footage being added on is 180, a combined total of 372 square feet, which is below the maximum allowed of 500 square feet. The interior ceiling height is proposed at just over 8 feet, with a pitched roof that will need to be no higher than 13 feet overall due to the accessory structure step back setback. The existing architecture of the shed and house will be matched in a Spanish Revival style to include stucco finish and s-tile roof.

Staff has not received any public comments on this proposal.

STAFF RECOMMENDATION:

Staff requests that the Design Review Board take the following action:

Approve the proposal, subject to the exhibits provided by the applicant, and stipulations 1 through 5.:

1. A Building Permit issued by the City will be required before any construction is to occur.
2. Provide on-site retention for the 100-year, 6-hour event for the new construction, with a maximum of 12-inch depth.
3. Provide approval from Liberty Utilities for water and wastewater demands.
4. Show all existing and new utilities on the Building Permit planset.
5. Show and label all existing site improvements on the Building Permit planset.

FINANCIAL IMPACT:

N/A

ATTACHMENTS:

1. PZ-25-86 Report Attachments

REVISIONS:

ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE BOOK (IMC/IEC) AS APPLICABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS RESULTING FROM THE CONTRACTOR'S FAILURE TO FOLLOW THE DESIGN OR ANY OTHER PARTY'S ACTIONS.

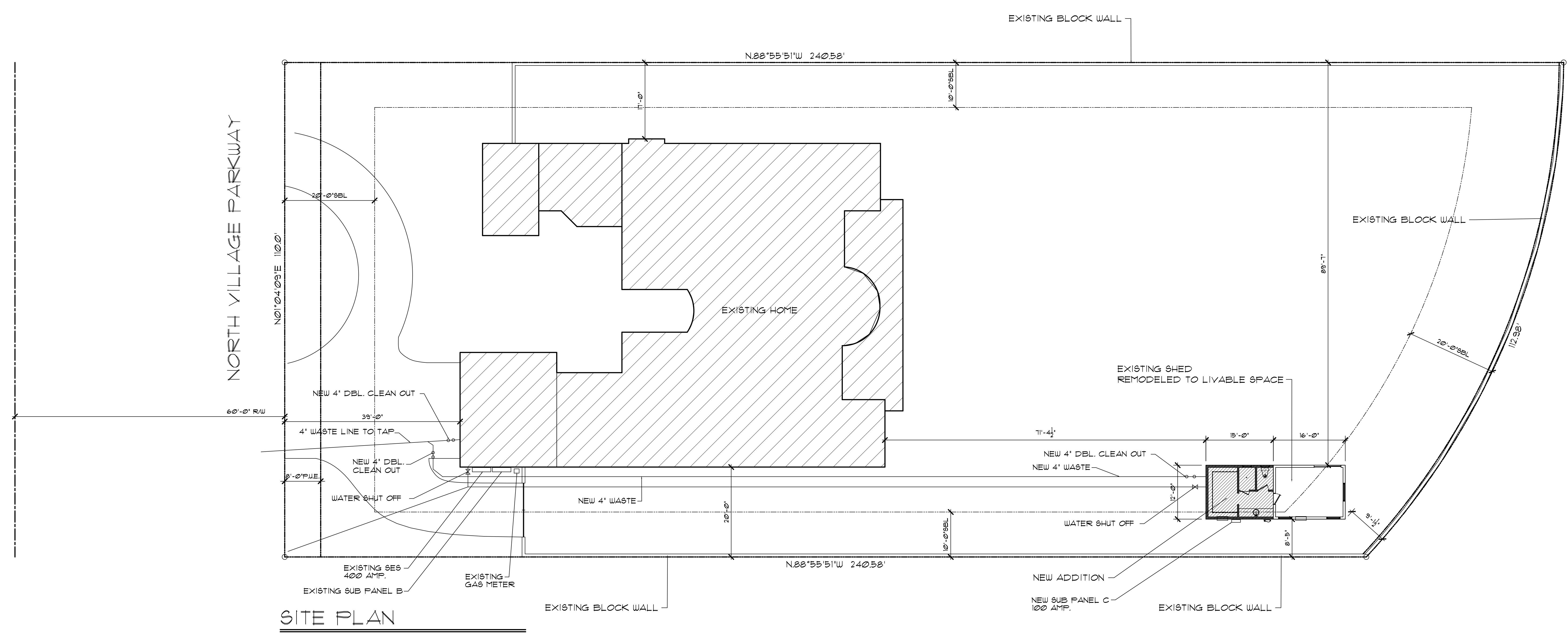
1809 S. WAR PAINT DRIVE
PHOENIX, ARIZONA 85044

CUSTOM ADDITION
FOR
BERT AND DIANE MATSUMOTO

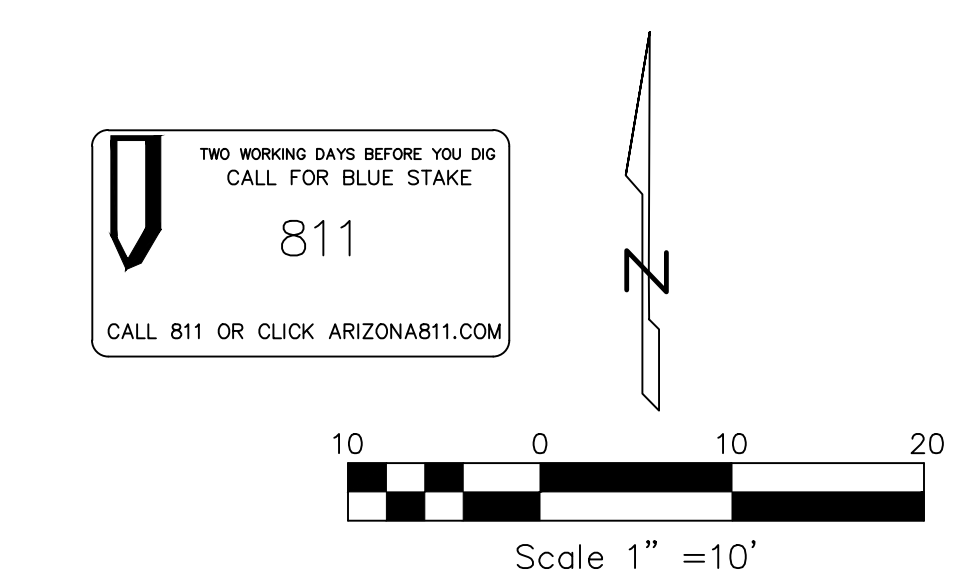
FINGERS LINE
DESIGNS
RESIDENTIAL DESIGN SERVICE
480 921 0629
4215 N. BROWN AVE. SUITE E. SCOTTSDALE, AZ 85251

DRAWN: M.S.M.
DATE: 2/27/25
JOB: 250201

2



SITE PLAN
SCALE: 1" = 10'



SITE INFORMATION
OWNER OF RECORD: DOUG BUKOWSKI
SITE ADDRESS: 4999 VILLAGE PARKWAY LITCHFIELD AZ. 85340
AFN: 508-15-313
LOT AREA: 29,824

PROPERTY DESCRIPTION
LOT 511, VILLAGE AT LITCHFIELD PARK PHASE 2

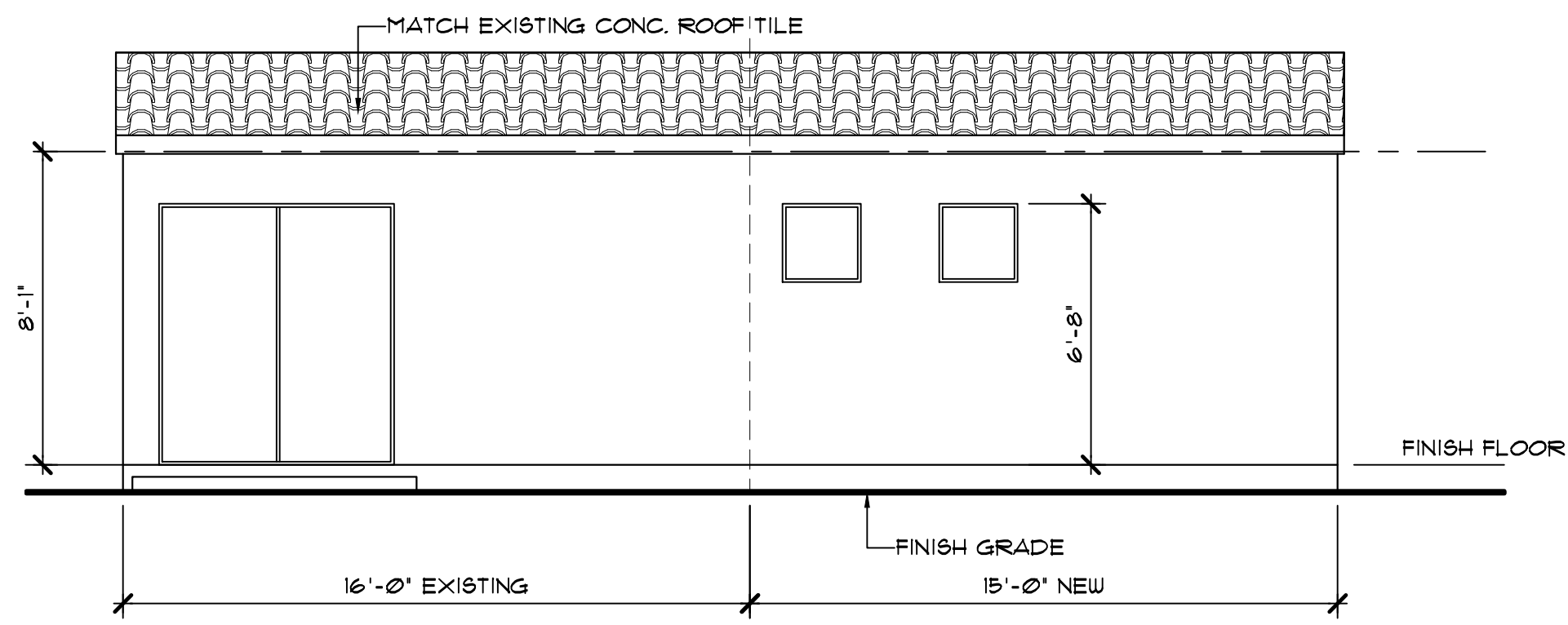
AREAS:

EXISTING HOME:
LIVABLE SQ. FT. = 4452
GARAGE SQ. FT. = 804
COVERED SQ. FT. = 412

DETACHED GUEST HOME NEW ADDITION/ REMODEL:
NEW LIVABLE ADDITION SQ. FT. = 180
REMODELED EXISTING COVERED AREA TO LIVABLE = 192

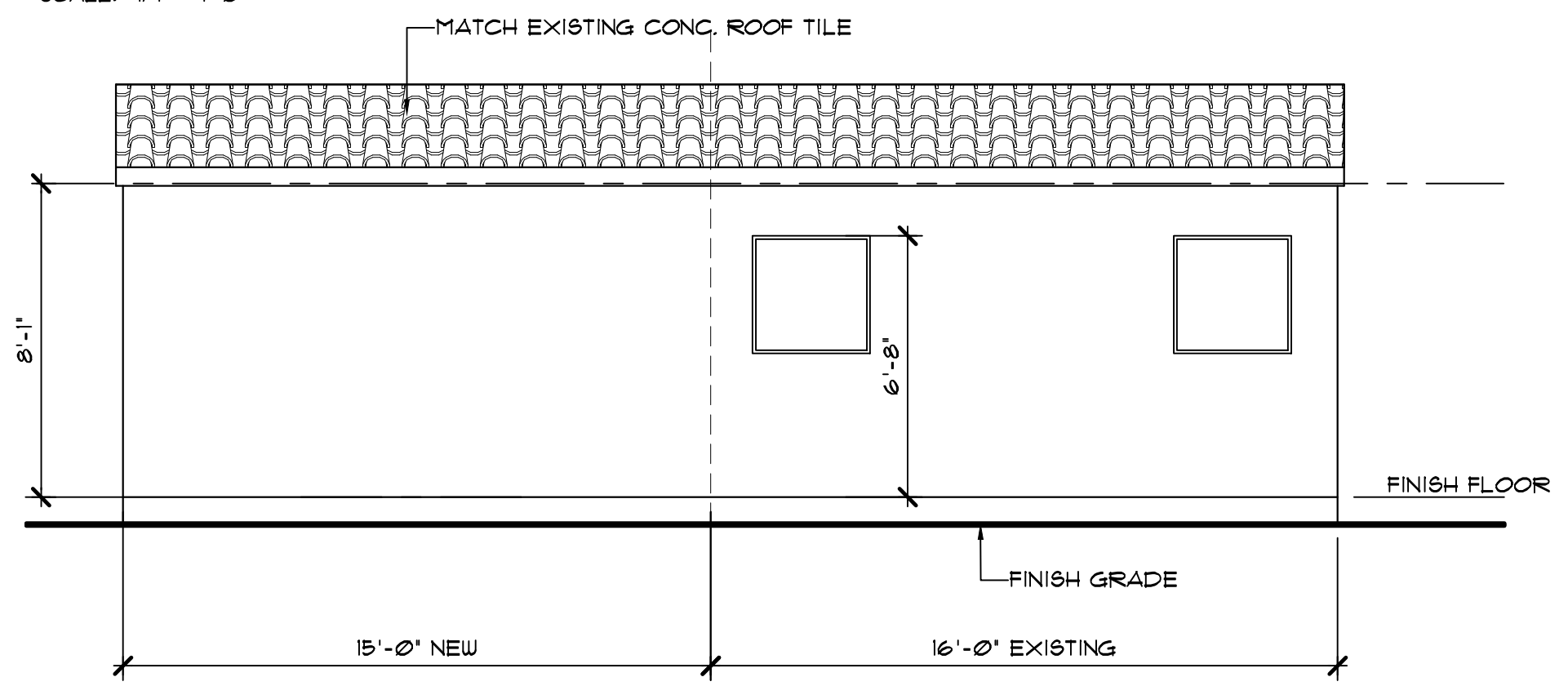
TOTAL:
LIVABLE SQ. FT. = 4632
GARAGE SQ. FT. = 804
COVERED SQ. FT. = 412
TOTAL LOT COVERAGE SQ. FT. = 6100

LOT SQ. FT. = 29,824 SQ. FT.
TOTAL LOT COVERAGE = 6100/29824 = 20.4%



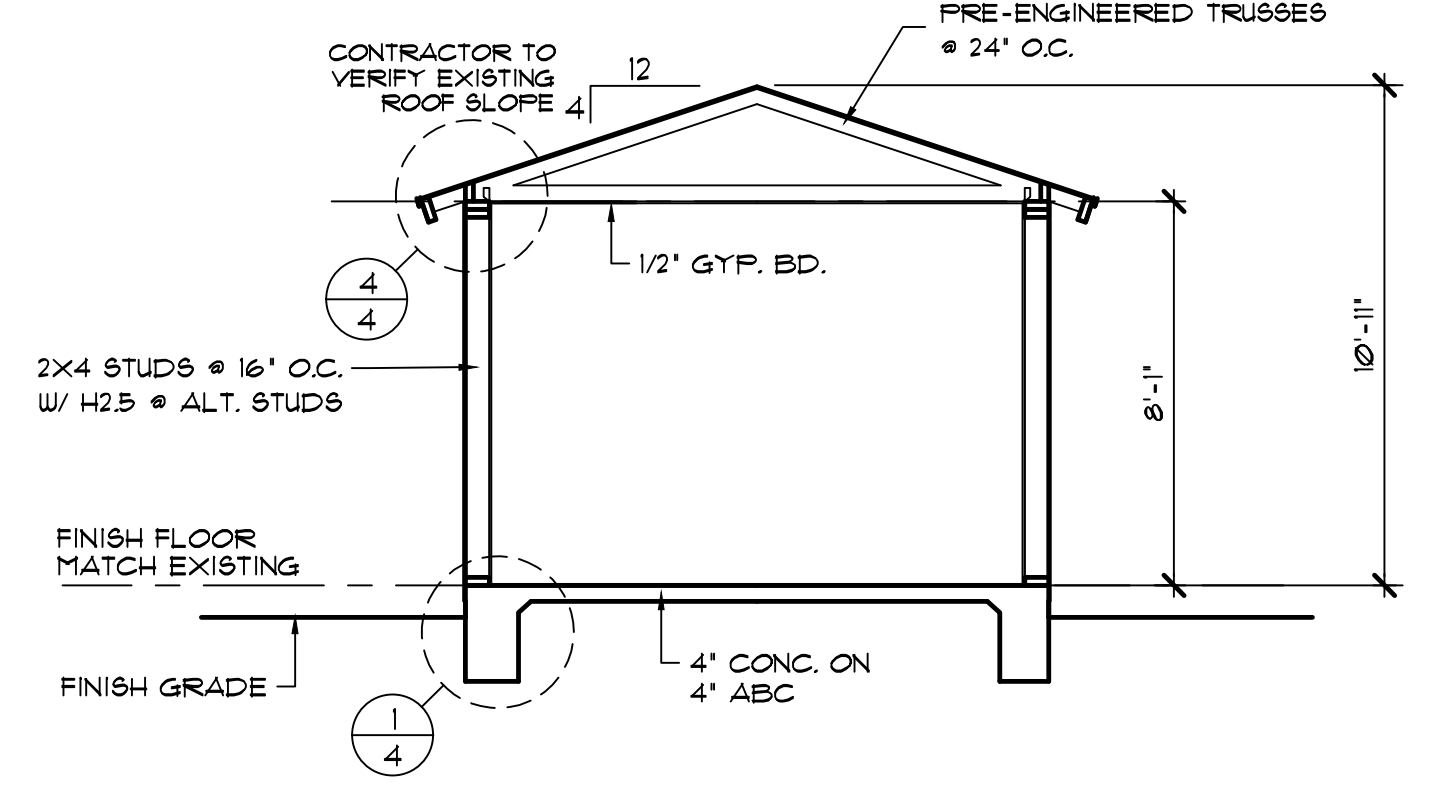
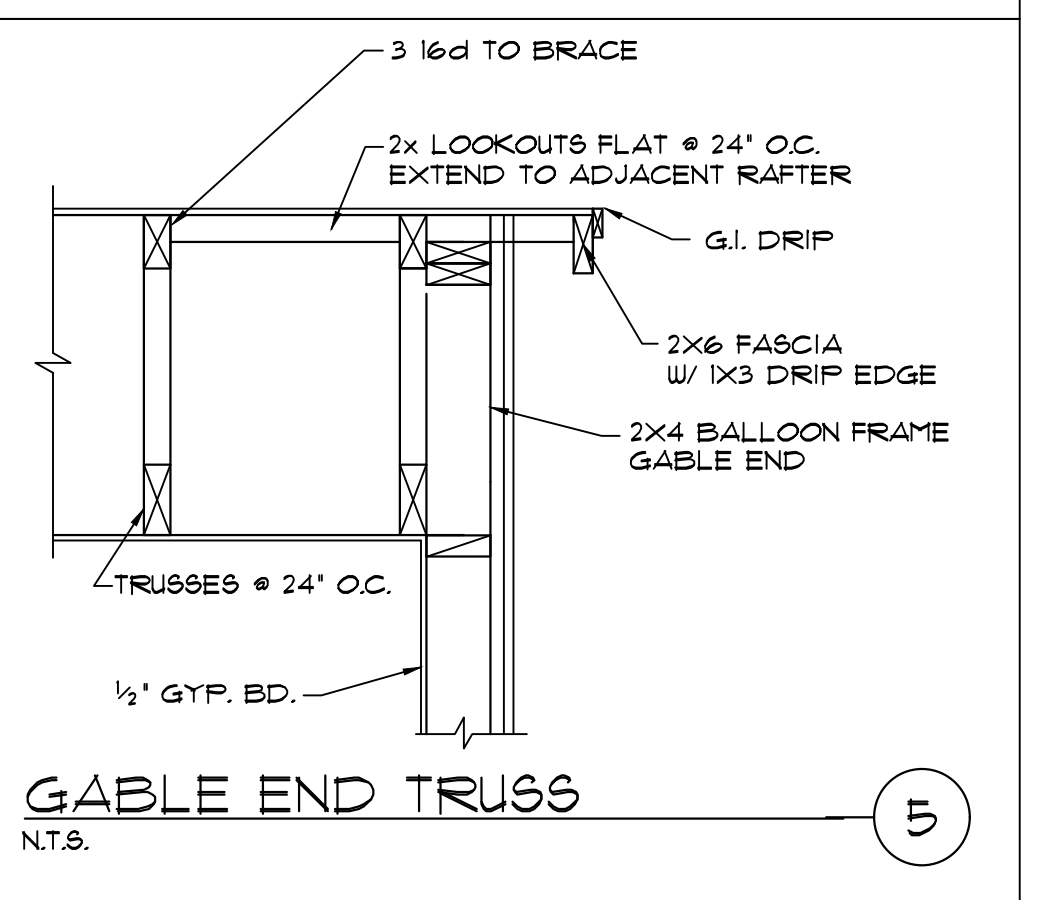
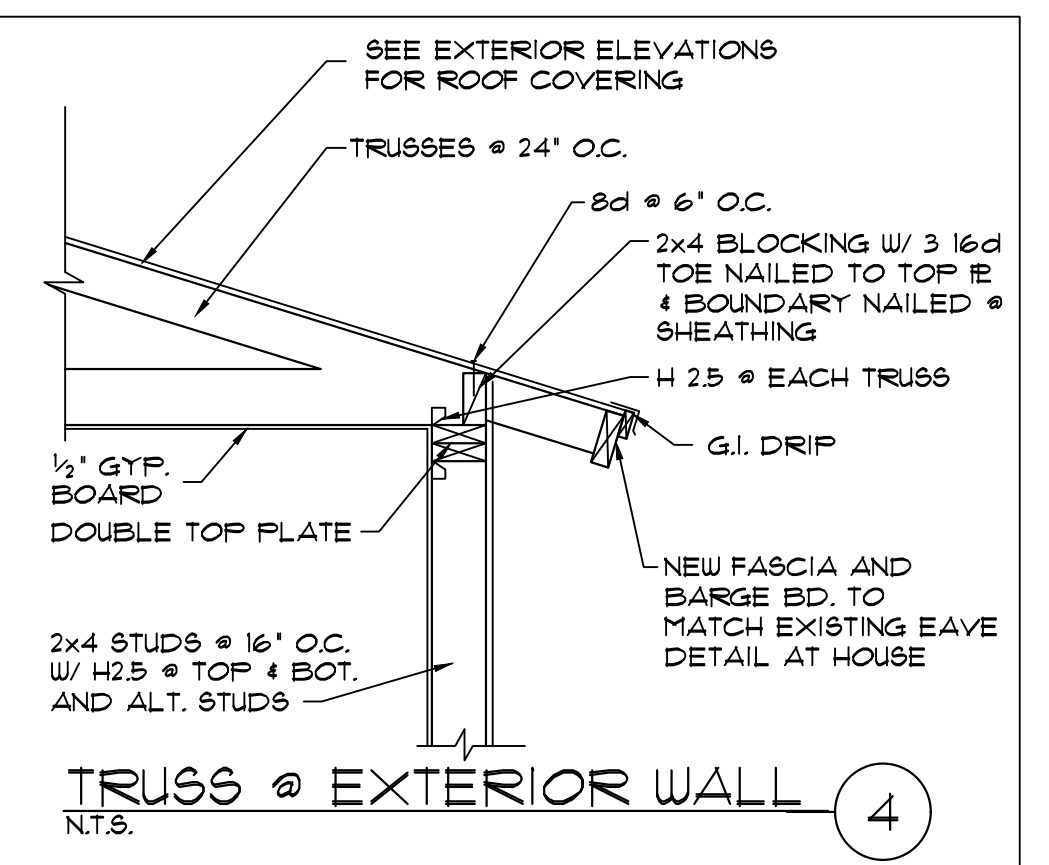
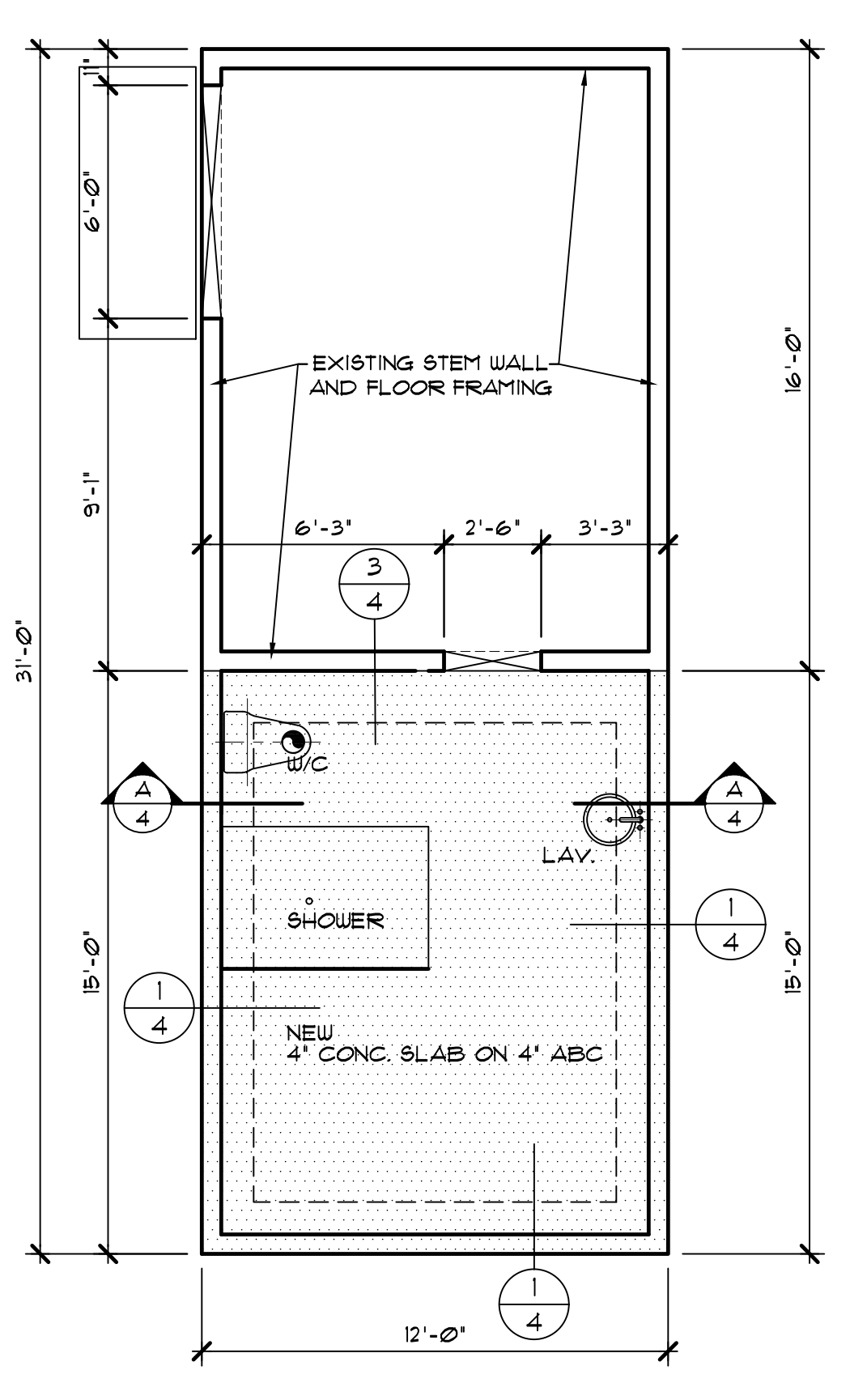
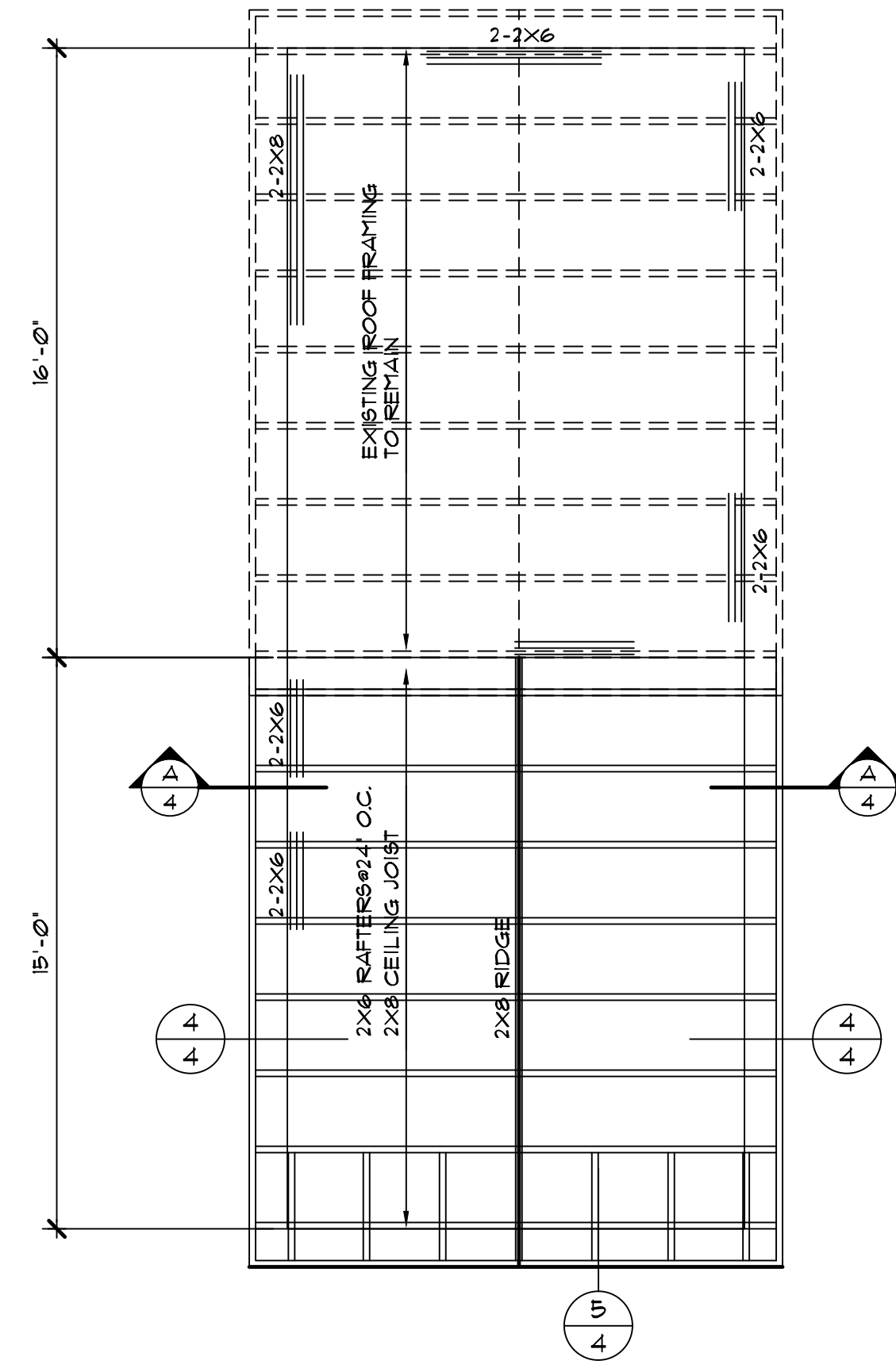
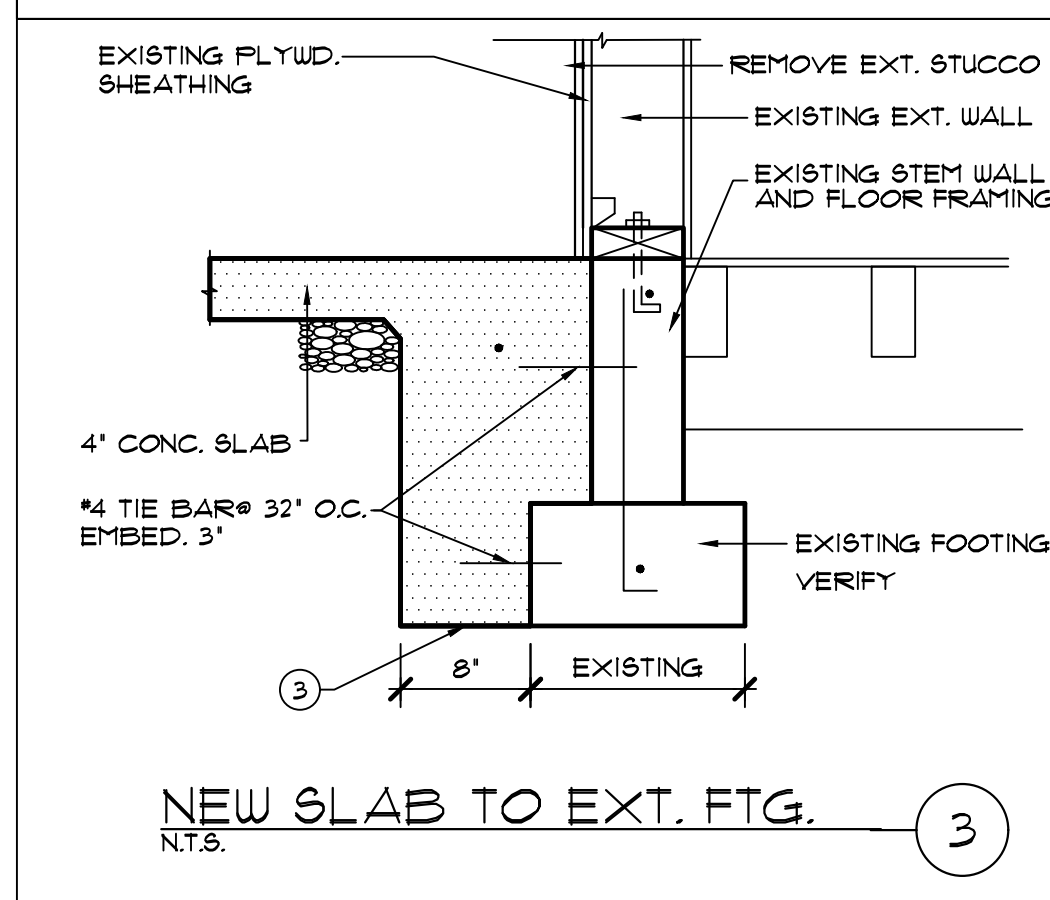
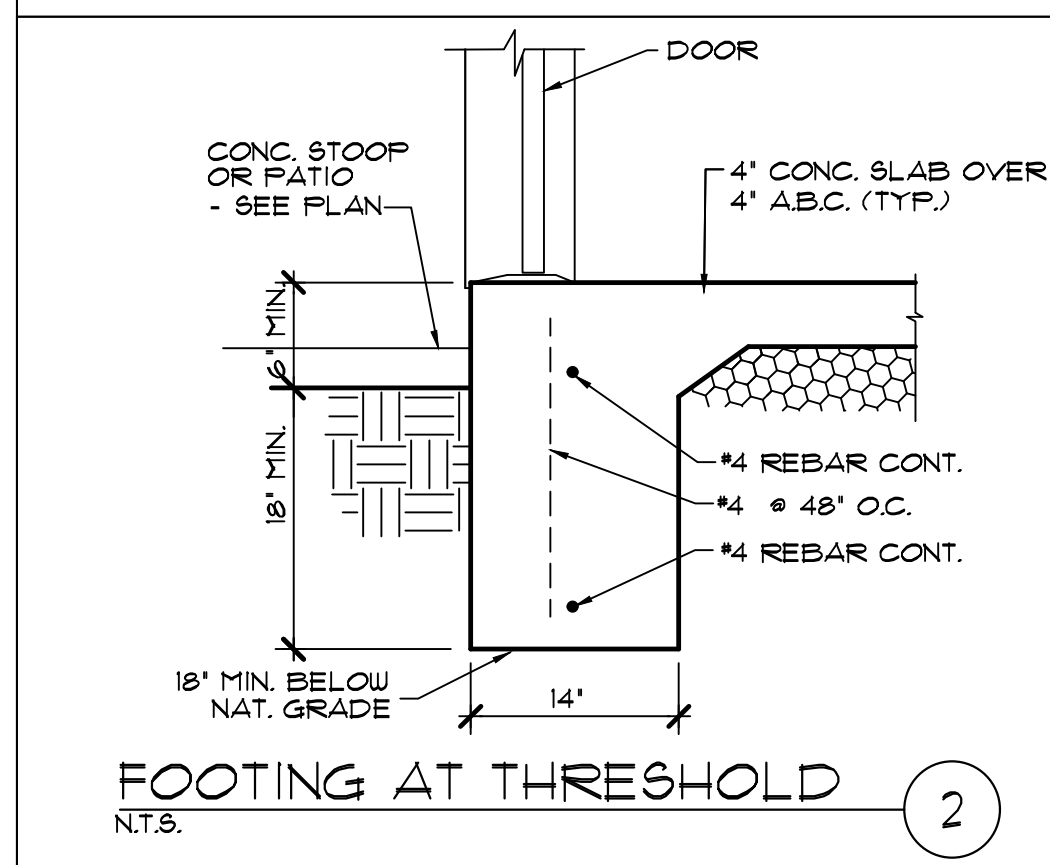
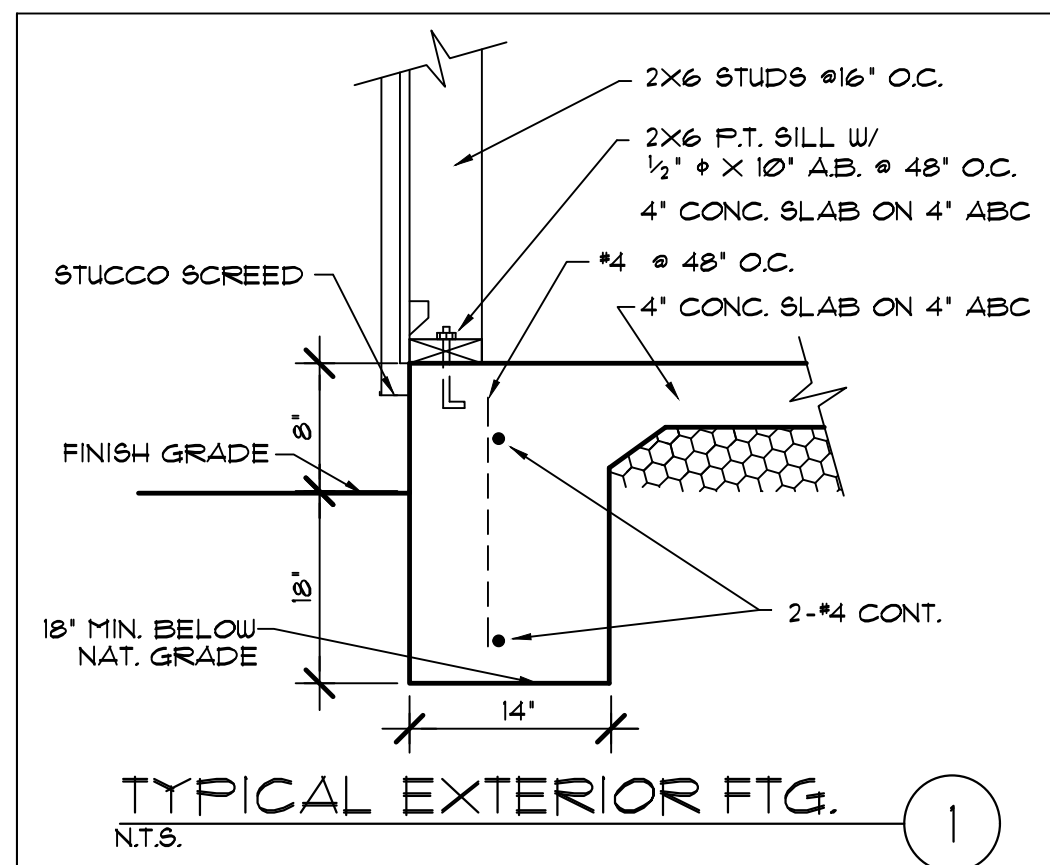
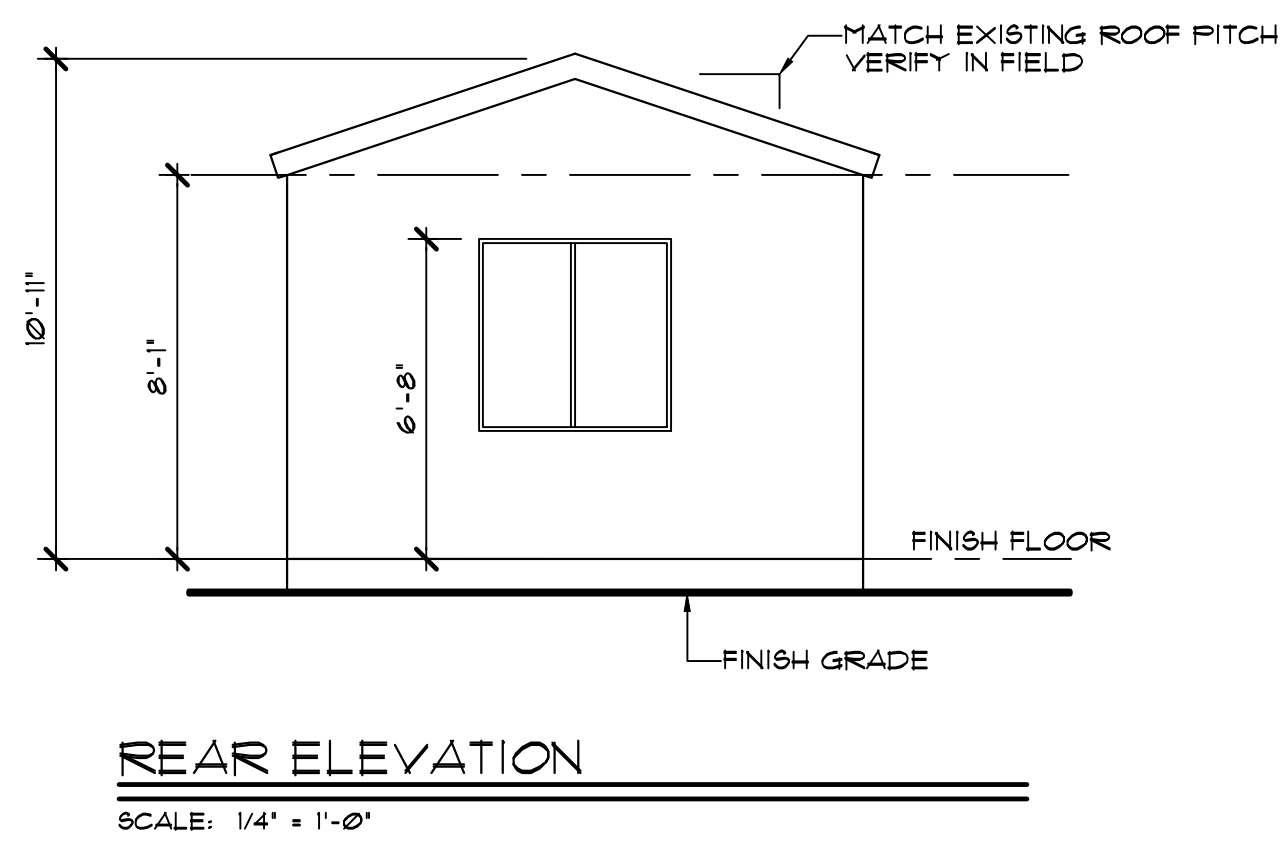
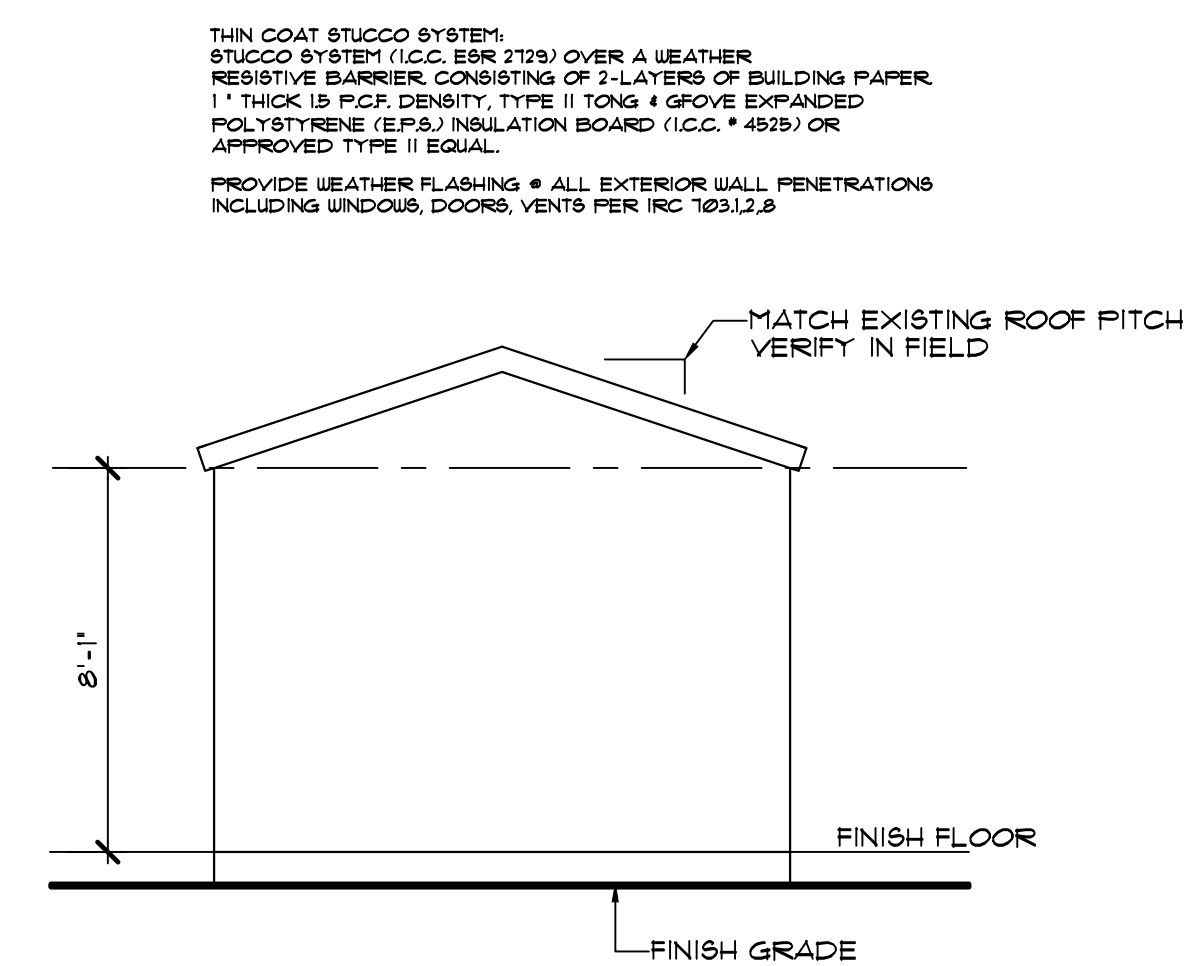
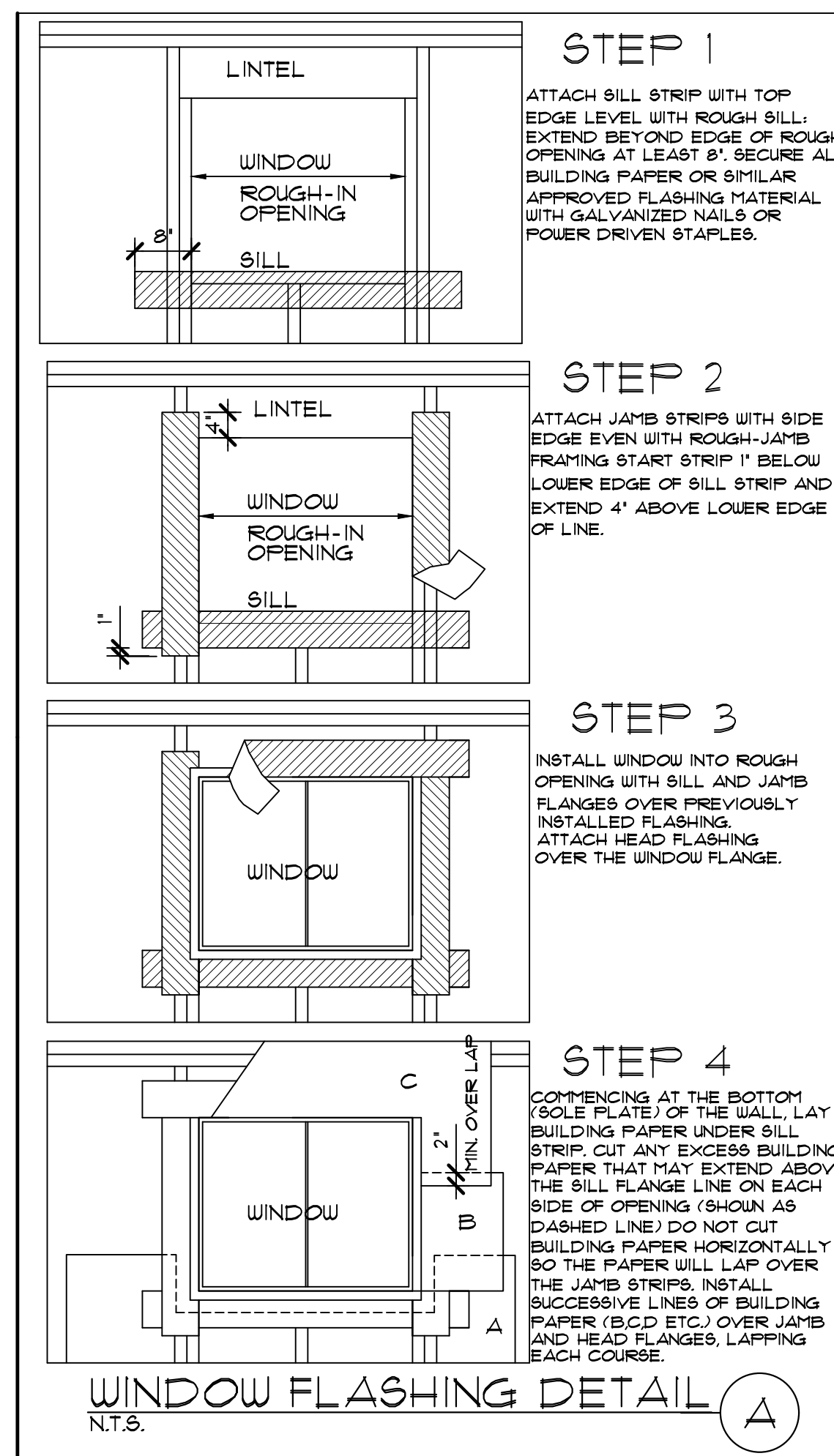
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REVISIONS:

4899 N. VILLAGE PARKWAY
LITCHFIELD PARK, ARIZONA 85340

CUSTOM ADDITION FOR
DOUG BUKOWSKI

FINE LINE
DESIGNS
RESIDENTIAL DESIGN SERVICE
480.921.0629
4215 N. BROWN AVE. SUITE E. SCOTTSDALE, AZ 85251

DRAWN: M.S.M.
DATE: 2/27/25
JOB: 250201

4

ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES. THE DESIGNER SHALL BE MADE AWARE OF ANY CHANGES TO THE IBC OR ANY APPLICABLE CODES. THESE DRAWINGS SHALL BE REVIEWED AND APPROVED BY THE DESIGNER. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.



**DESIGN REVIEW BOARD
COMMUNICATION**

Business Item V.D
Expanded Front Yard Wall (PZ-25-
87)

To: Design Review Board Members
From: Randy Proch, Planning Director
Meeting Date: 11/6/2025

RECOMMENDED MOTION:

MOVE TO APPROVE THE PROPOSED WALL, FILE NO. PZ-25-87, LOCATED AT 218 LAGUNA DRIVE EAST, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATIONS 1 AND 2.

BACKGROUND/DISCUSSION:

The proposal is to expand the front yard courtyard wall towards the front property line. The property is located at 218 Laguna Drive East and zoned RC-PD.

The proposed wall expansion would create sufficient room to build a future swimming pool within the courtyard space. The resident has completed a survey and through the pool builder ensured the maximum allowed footprint to be expanded no closer than the front setback line. The wall will match the existing architecture.

Staff has not received any public comments on this proposal.

STAFF RECOMMENDATION:

Staff requests that the Design Review Board take the following action:

Approve the proposal, subject to the exhibits provided by the applicant, and stipulations 1 and 2:

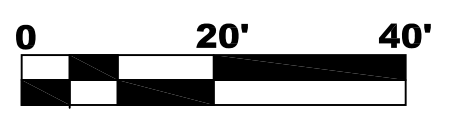
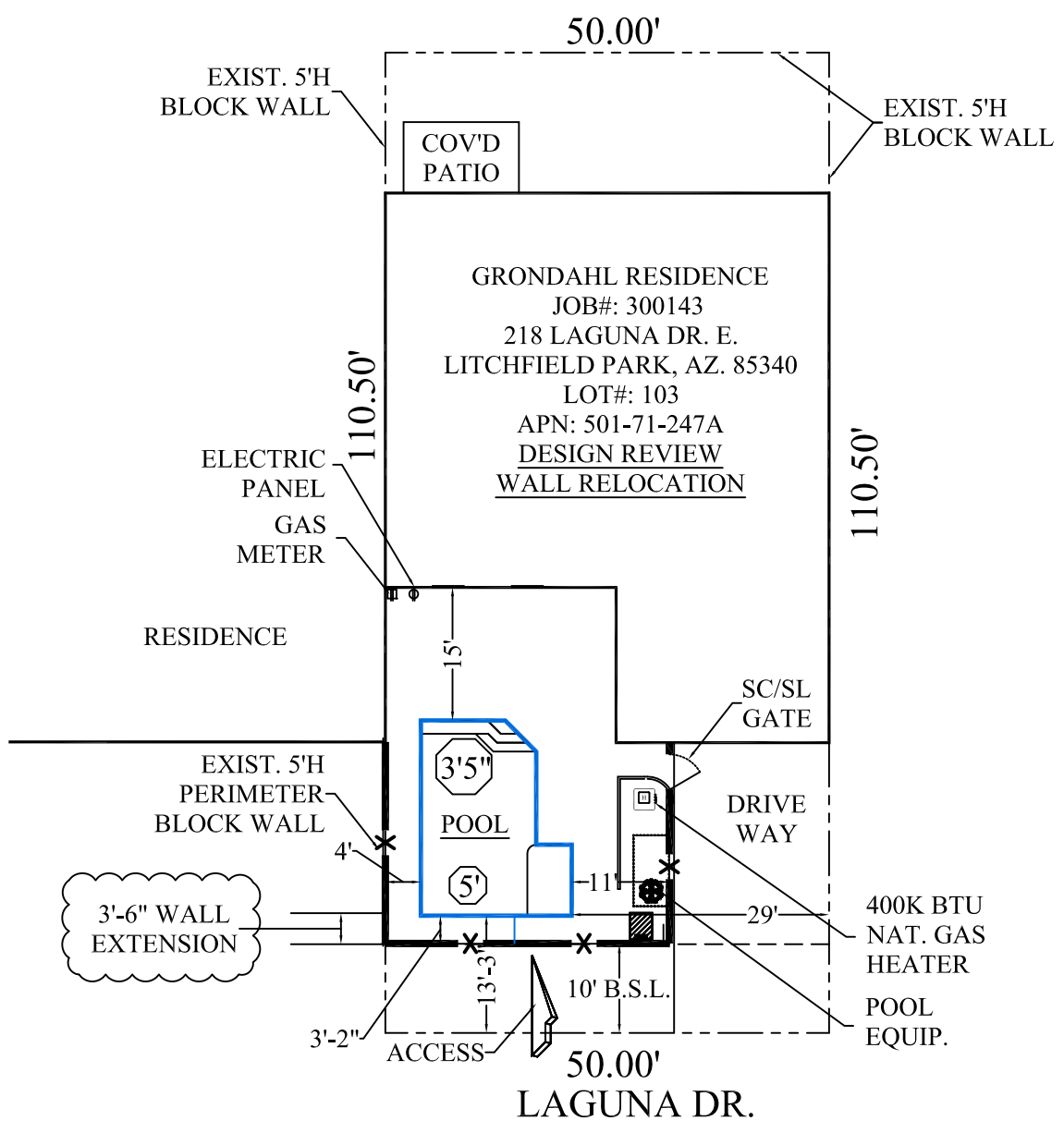
1. A Building Permit issued by the City will be required before any construction is to occur.
2. Provide scaled drawings showing existing structures, utilities, and wall along with proposed structural details of the wall.

FINANCIAL IMPACT:

N/A

ATTACHMENTS:

1. PZ-25-87 Report Attachments



SCALE: 1" = 20'-0"



**DESIGN REVIEW BOARD
COMMUNICATION**

Business Item V.E
Remodel and New Garage (PZ-25-
88)

To: Design Review Board Members
From: Randy Proch, Planning Director
Meeting Date: 11/6/2025

RECOMMENDED MOTION:

MOVE TO APPROVE A REMODEL AND NEW GARAGE, FILE NO. PZ-25-88, LOCATED AT 1093 N. ORO VISTA, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATIONS 1 THROUGH 3.

BACKGROUND/DISCUSSION:

The proposal is to remodel and add a new garage onto an existing home. The property is located at 1093 N. Oro Vista and zoned R-1.

The proposed remodel would expand the overall footprint of the structure towards all portions of the building envelope, most of which going towards the front setback line. The new garage will be brought forward with the existing garage being converted to living space. A new covered front entryway is also included with a new roof line. The proposed structure would be greater than 5,000 square feet under roof, which requires fire sprinklers. The applicant may reduce the roofed areas by 158 square feet, which would remove the requirement and stipulation during the Building Permit review. The architectural changes would modernize the home and include new details along the garage doors as well.

Staff has not received any public comments on this proposal.

STAFF RECOMMENDATION:

Staff requests that Design Review Board take the following action.

Approve the proposal, subject to the exhibits provided by the applicant and stipulations 1 through 3.

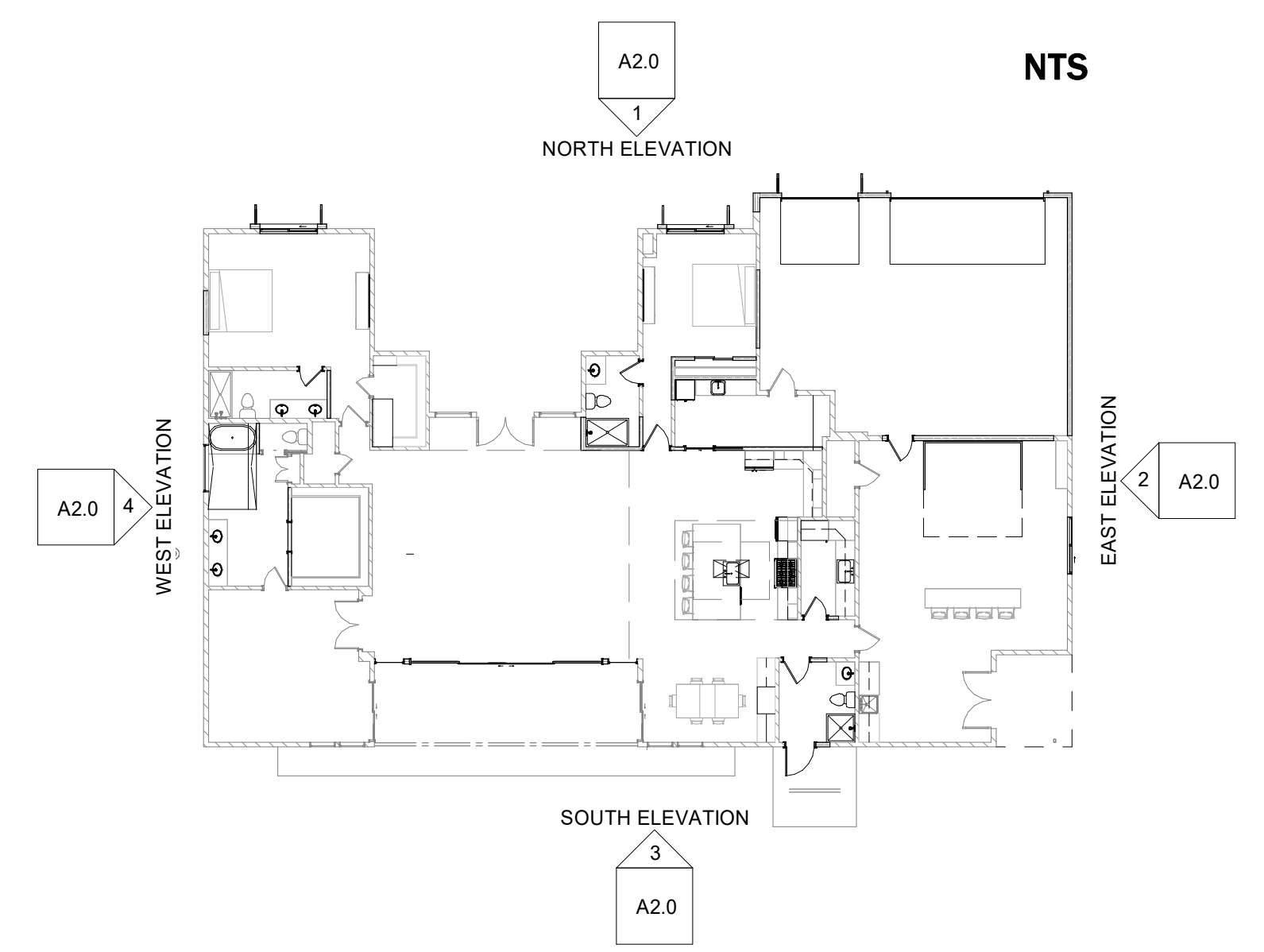
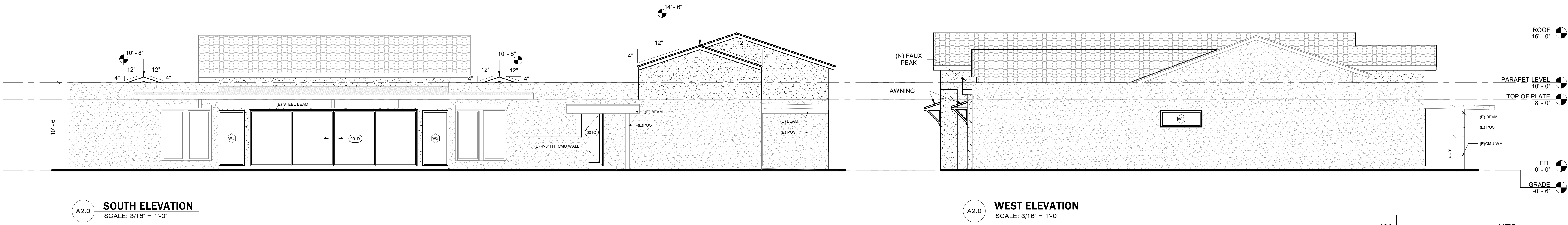
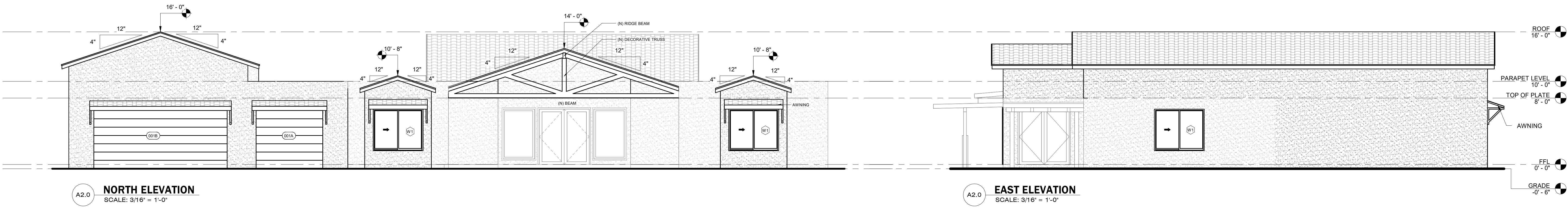
1. A Building Permit issued by the City will be required before any construction is to occur.
2. A fire sprinkler system must be installed if the structure remains greater than 5,000 square feet under roof.
3. Provide on-site retention for the 100-year, 6-hour event for the new construction, with a maximum of 12-inch depth including flow lines.

FINANCIAL IMPACT:

N/A

ATTACHMENTS:

1. PZ-25-88 Report Attachments



EXTERIOR FINISH	ROOFING	CALLOUTS	UTILITIES	SECTION MATERIALS
STUCCO	TILE	▲ WALL TYPE	AC AC UNIT	CONCRETE FOOTING
BRICK	ASPHALT SHINGLE	◆ DOOR SIZE	E ELECTRICAL METER	ABC GRAVEL
CMU/BLOCK	METAL	⊗ WINDOW SIZE	200 ELECTRICAL PANEL (AMPS)	CMU/BLOCK WALL
EXPOSED WOOD	SLATE	⊕ ELEVATION LABELS	G GAS METER	WOOD
PAINTED METAL	WOOD	∥ GLASS	WALL/FENCE	GRADING

	SHEET TITLE	ELEVATIONS	SHEET NO:	A2.0	<p>LITCHFIELD PARK CODES</p> <p>UNLESS STATED OTHERWISE, ADHERE TO THE BELOW CODES</p> <p>2018 IRC, AND LITCHFIELD PARK AMENDED BUILDING CODES</p>
	PROJECT NAME	1093 N ORO VISTA	SCALE	As indicated	
	PROJECT ADDRESS	1093 N ORO VISTA LITCHFIELD PARK, AZ 85340			
	CLIENT NAME	BLISSENBACH GREG	DATE	09.16.2025	

Contractor must verify all dimensions at project before proceeding with work. Dimensions intended for general permit use within +/- 1", anything requiring tighter tolerances requires field verification. These documents are instruments of professional service and the information contained within is incomplete unless used in conjunction with Rezio LLC. Use or reproduction of these documents in whole or in part without written consent of Rezio LLC is in violation of common law, copyrights, statutes and other reserved rights. These plans are on notice as copyrighted property of Rezio LLC.

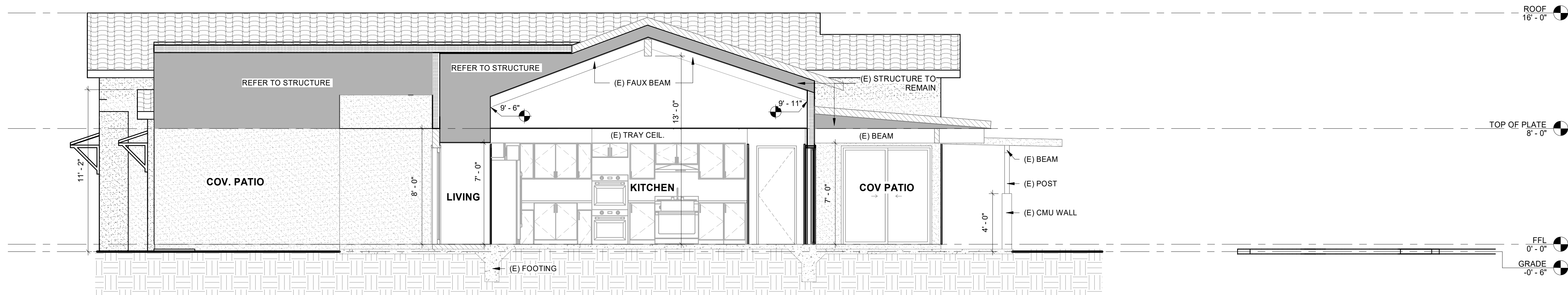
It is the responsibility of the contractor to check and verify all field conditions prior to construction, handle all inspections and work related to inspector comments, and all dimensions, quantities and coordination of trades on the construction site.

SEAL

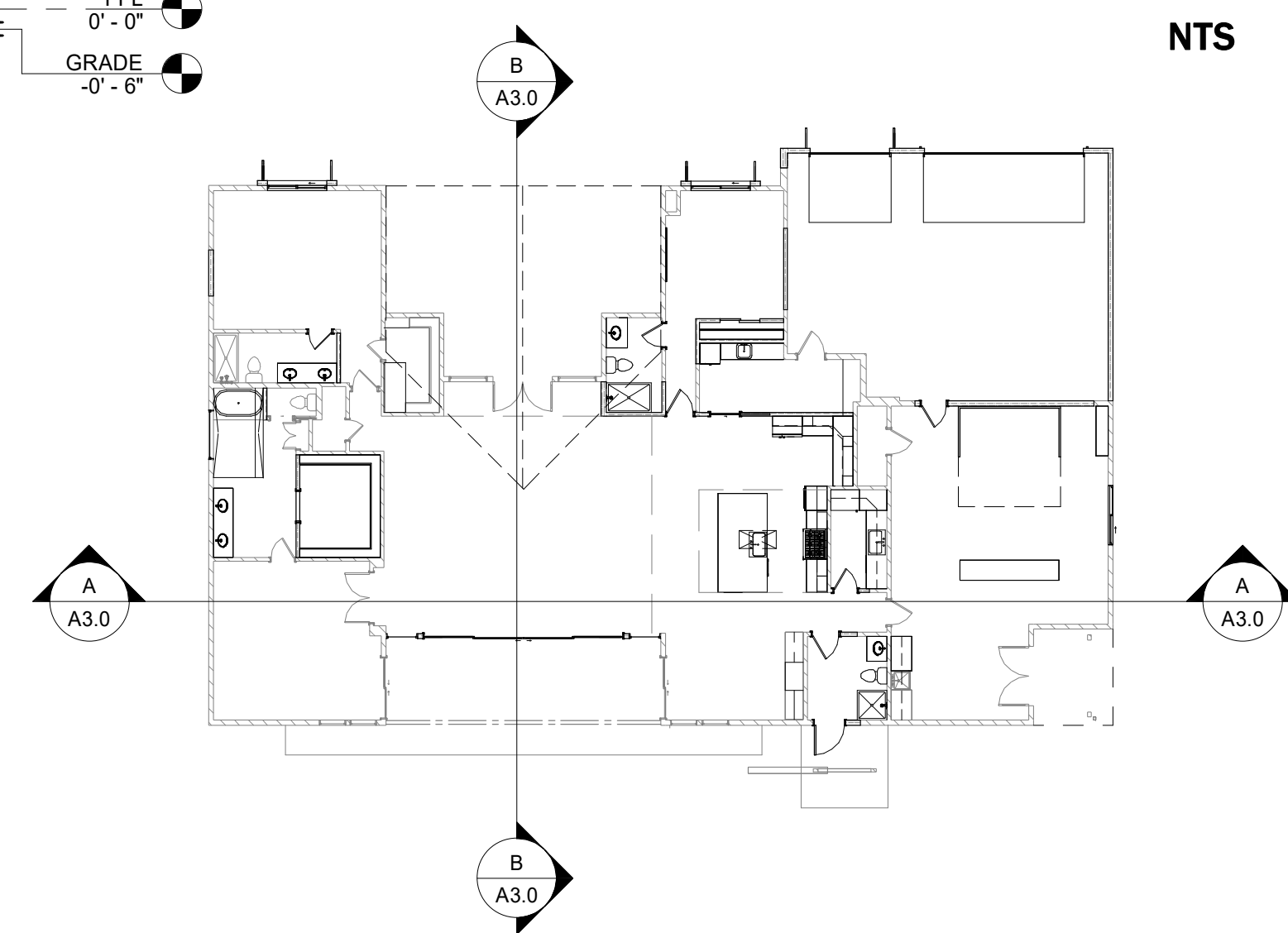
CITY APPROVAL



A3.0 SECTION A
SCALE: 1/4" = 1'-0"



A3.0 SECTION B
SCALE: 1/4" = 1'-0"



EXTERIOR FINISH	ROOFING	CALLOUTS	UTILITIES	SECTION MATERIALS
STUCCO	TILE	WALL TYPE	AC AC UNIT	CONCRETE FOOTING
BRICK	ASPHALT SHINGLE	DOOR SIZE	E ELECTRICAL METER	ABC GRAVEL
CMU/BLOCK	METAL	WINDOW SIZE	200 ELECTRICAL PANEL (AMPS)	CMU/BLOCK WALL
EXPOSED WOOD	SLATE	ELEVATION LABELS	G GAS METER	WOOD
PAINTED METAL	WOOD	GLASS	WALL/FENCE	GRADING

	SHEET TITLE	SECTIONS	SHEET NO:	A3.0
	PROJECT NAME	1093 N ORO VISTA	SCALE	As indicated
	PROJECT ADDRESS	1093 N ORO VISTA LITCHFIELD PARK, AZ 85340		
	CLIENT NAME	BLISSENBACH GREG	DATE	09.16.2025

LITCHFIELD PARK CODES
UNLESS STATED OTHERWISE,
ADHERE TO THE BELOW CODES
2018 IRC, AND LITCHFIELD PARK
AMENDED BUILDING CODES

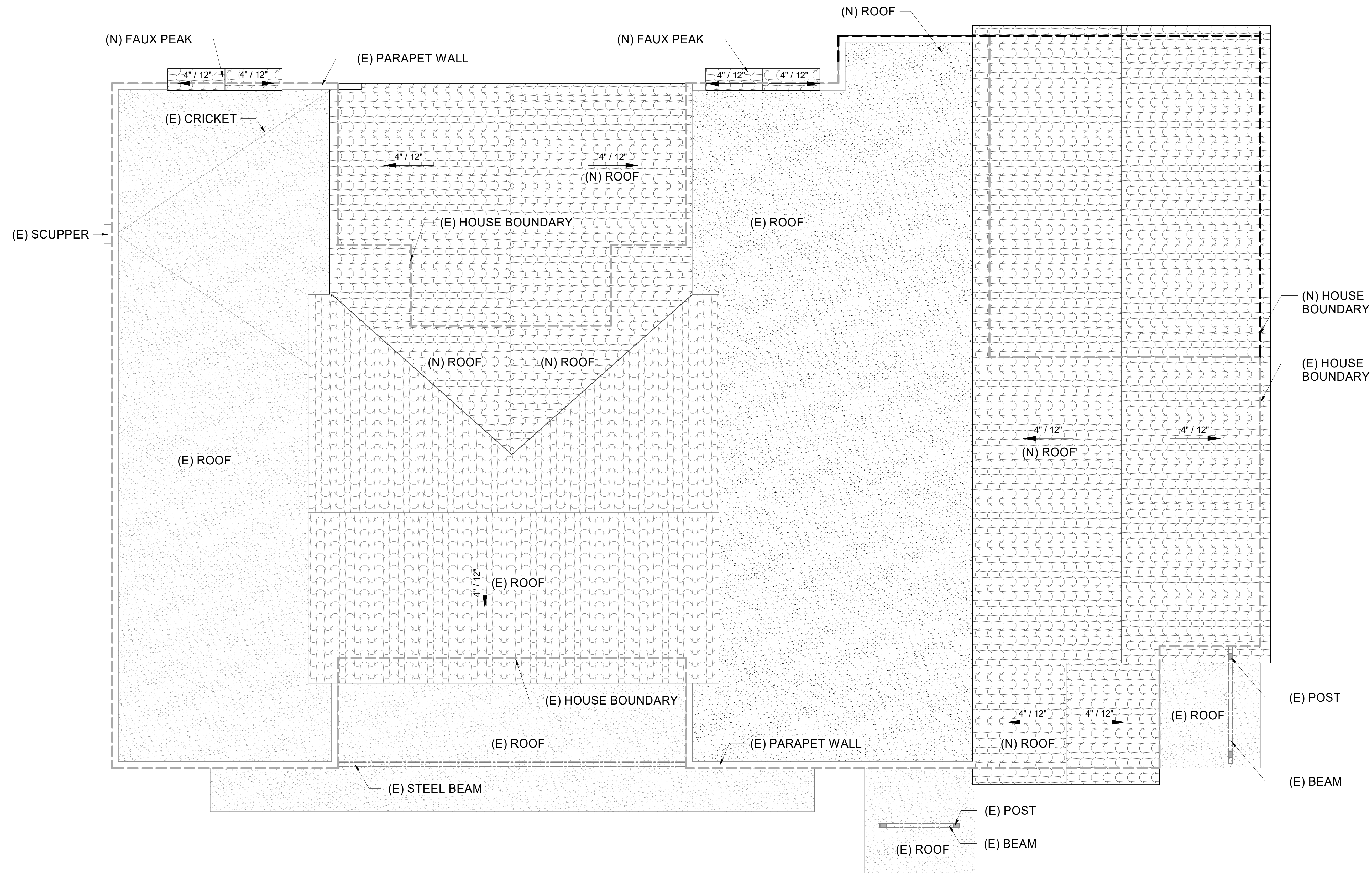
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It is the responsibility of the contractor to check and verify all field conditions prior to construction, handle all inspections and work related to inspector comments, and all dimensions, quantities and coordination of trades on the construction site.

SEAL

CITY APPROVAL

(844) 937-3946
 www.reziopro.com



	TILE		FOAM
	ASPHALT SHINGLE		ROLLED PATIO ROOF
	METAL		ACCESSIBLE ROOF DECK
	SLATE		ROOF LINE
	WOOD		BUILDING OUTLINE

A4.0 ROOF PLAN
SCALE: 1/4" = 1'-0"

	SHEET TITLE	ROOF PLAN	SHEET NO:	A4.0
	PROJECT NAME	1093 N ORO VISTA	SCALE	1/4" = 1'-0"
	PROJECT ADDRESS	1093 N ORO VISTA LITCHFIELD PARK, AZ 85340		
	CLIENT NAME	BLISSENBACH GREG	DATE	09.16.2025

LITCHFIELD PARK CODES
UNLESS STATED OTHERWISE,
ADHERE TO THE BELOW CODES
2018 IRC, AND LITCHFIELD PARK
AMENDED BUILDING CODES

Contractor must verify all dimensions at project before proceeding with work. Dimensions intended for general permit use within +/- 1", anything requiring tighter tolerances requires field verification. These documents are instruments of professional service and the information contained within is incomplete unless used in conjunction with Rezio LLC. Use or reproduction of these documents in whole or in part without written consent of Rezio LLC is in violation of common law, copyrights, statutes and other reserved rights. These plans are on notice as copyrighted property of Rezio LLC.

It is the responsibility of the contractor to check and verify all field conditions prior to construction, handle all inspections and work related to inspector comments, and all dimensions, quantities and coordination of trades on the construction site.

SEAL

CITY APPROVAL

REZIOTM
(844) 937-3946
www.reziopro.com



**DESIGN REVIEW BOARD
COMMUNICATION**

Business Item V.F
Carport Conversion (PZ-25-92)

To: Design Review Board Members
From: Randy Proch, Planning Director
Meeting Date: 11/6/2025

RECOMMENDED MOTION:

MOVE TO APPROVE THE PROPOSED CARPORT CONVERSION, FILE NO. PZ-25-92, LOCATED AT 400 E. PALM STREET, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATION 1.

BACKGROUND/DISCUSSION:

The proposal is to convert an existing carport to garage on an existing home. The property is located at 400 E. Palm Street and is zoned R1-8.

The brick facade home is located on a corner lot and subject to a 25 foot front setback. The proposed garage addition scope has been reduced in order to fit within the required setbacks. The roof line will be extended and match in materials and colors, along with the same brick facade being added to the garage face. All other portions of the home would remain as-is.

Staff has not received any public comment on this proposal.

STAFF RECOMMENDATION:

Staff requests that the Design Review Board take the following action:

Approve the proposal, subject to the exhibits provided by the applicant, and stipulation 1.

1. A Building Permit issued by the City will be required before any construction is to occur.

FINANCIAL IMPACT:

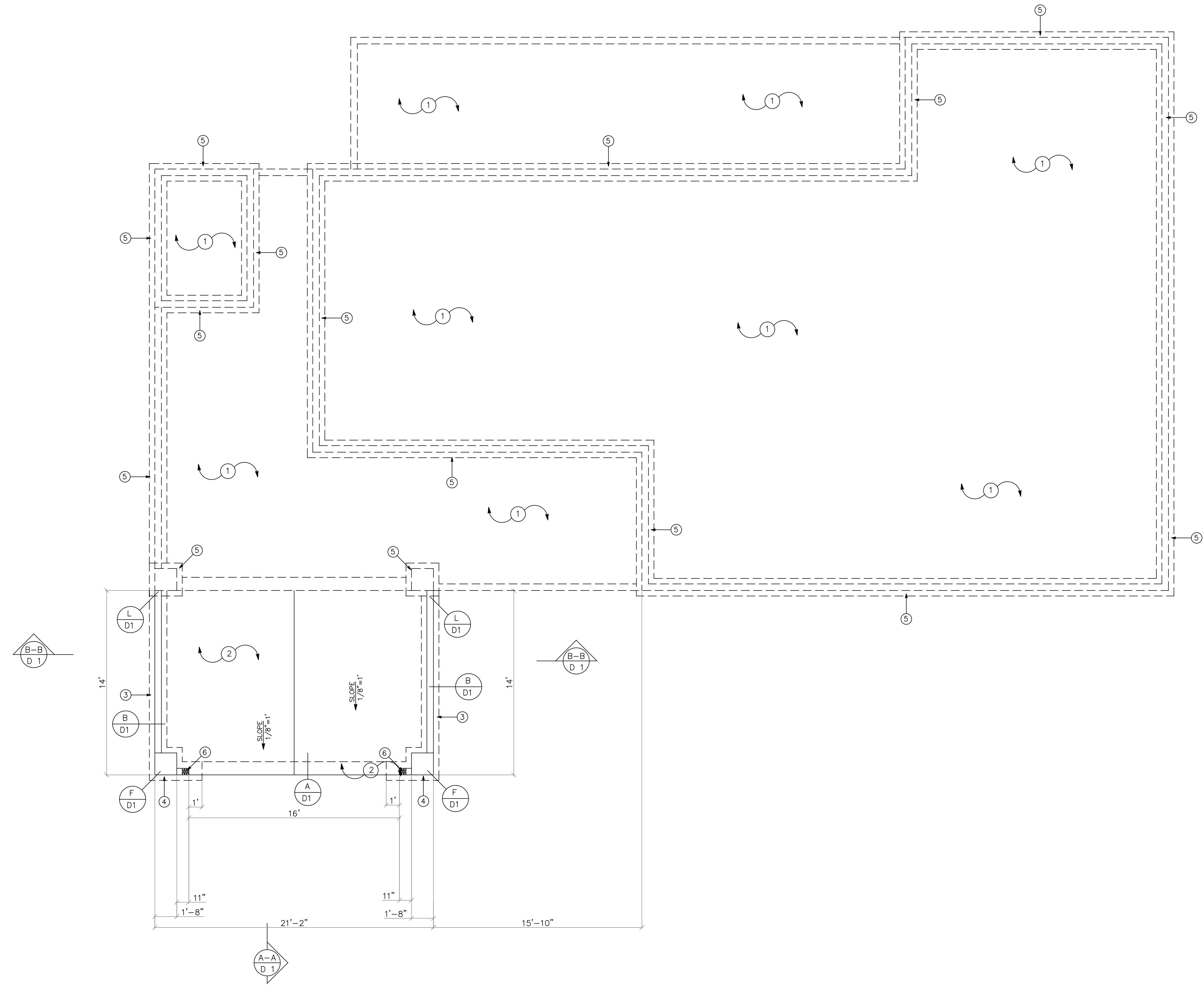
N/A

ATTACHMENTS:

1. PZ-25-92 Report Attachments

KEYED NOTES:

- EXIST 4" CONCRETE SLAB ON 4" OF A.B.C. OVER TERMITE TREATED SOIL.
- NEW 4" CONCRETE SLAB ON 4" OF A.B.C. OVER TERMITE TREATED SOIL.
- CONCRETE FOOTING 1'-4" WIDE, 18" DEEP WITH 2 - #4 CONTINUOUS WITH #4 VERTICAL @ 48" O.C. (SEE DETAILS)
- 30" SQUARE CONCRETE FOOTING 12" THICK WITH (3)#4 BAR MATT EACH WAY.
- EXISTING CONCRETE STRUCTURE TO REMAIN
- BEARING POSTS - (2) 2 X 6 STUDS UNLESS NOTED OTHERWISE



GENERAL NOTES:

- ALLOWABLE SOIL BEARING PRESSURE TO BE 1500 PSF. CODE ALLOWANCE MIN. 1'-6" MIN. BELOW NATURAL GRADE.
- BOTTOM PLATE MUST BE TREATED WOOD OR FOUNDATION GRADE WOOD, APPROVED STRAPS (SIMPSON PA, MA, MAS OR EQUAL) ANCHORED IN CONCRETE FOR SILL PLATE HOLD DOWN REQUIRED AT ALL WALL OPENINGS, (EXCEPTION: INTERIOR NON-BEARING WALLS), PER IRC.
- PROVIDE CONTROL JOINTS @ 400 FT. MAXIMUM.

FOUNDATION PLAN
 SCALE 1/4" = 1'-0"

SHEARWALL & HOLDOWN SCHEDULE
 SEE SCHEDULES ON SHEET A1

SYMBOL	DESCRIPTION
○	HOLDOWN
◇	SHEARWALL

CUSTOM ADDITION FOR:
CROWLEY
 400 E. PALM ST.
 LITCHFIELD PARK, AZ.

FOUNDATION PLAN

DRAWN BY: D. FREET
 SCALE: 1/4"=1'-0" DATE: 8/5/25

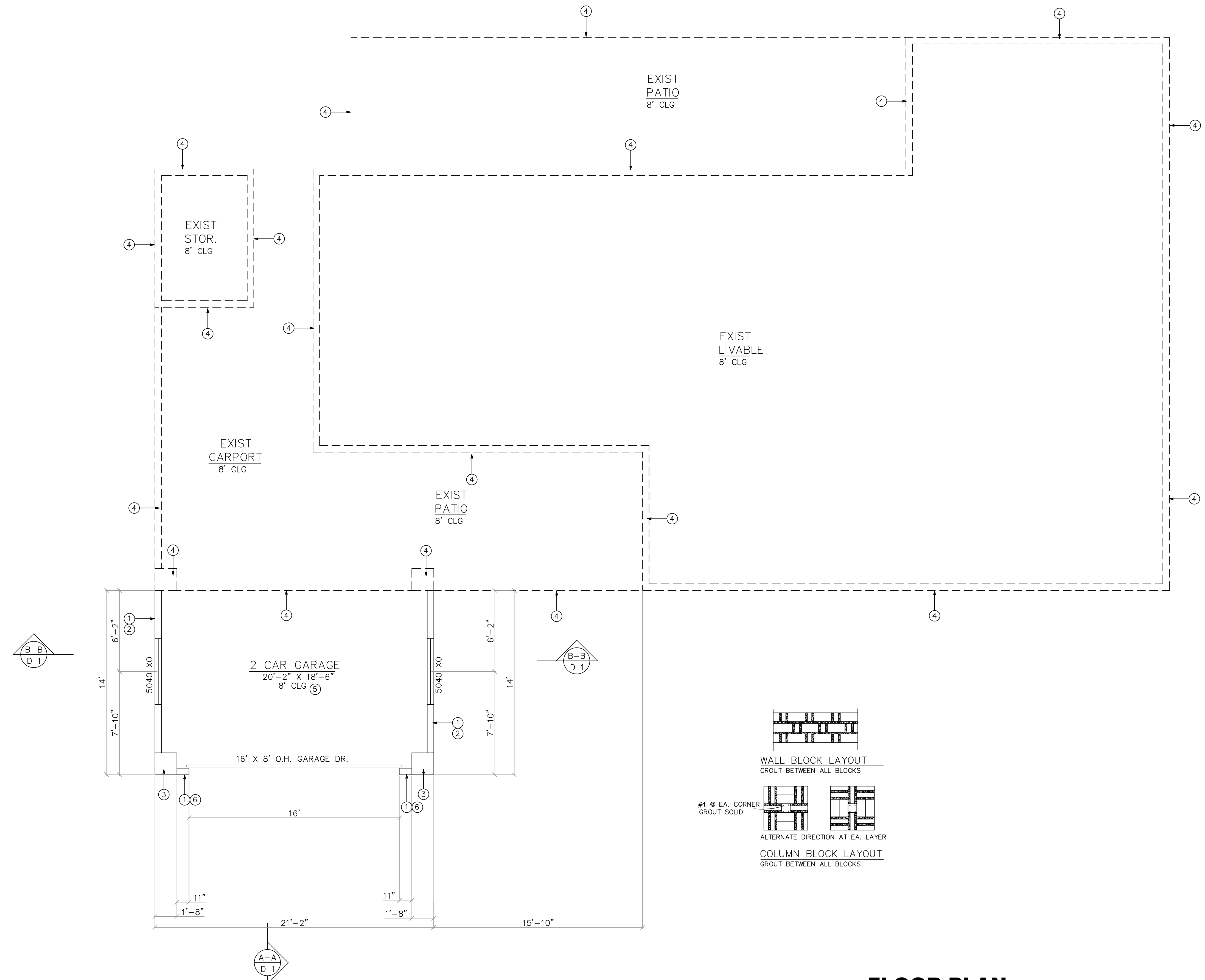
REVISIONS	
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SHEET #
A2
 SHEET 2 OF 8

KEYED NOTES:

- 1 X 8 ENGINEERED WOOD EXTERIOR SIDING. OVER VAPOR BARRIER ESR# 1301
- RED BRICK WALLS FOR EXTERIOR WALLS GROUT WITH #9 GAUGE DURAWIRE @ 8" O.C. PATTERN AND LAYOUT TO MATCH EXIST.
- RED BRICK COLUMNS 6 X 4 X 2 GROUTED PATTERN AND LAYOUT TO MATCH EXIST.
- EXISTING STRUCTURE TO REMAIN AS IS
- ONE HOUR FIRE - RESISTIVE CONSTRUCTION IS REQUIRED ON THE GARAGE SIDE OF THE WALL WHICH IS COMMON WITH THE HOUSE. 5/8" TYPE "X" SHEET ROCK MUST BE APPLIED TO THE GARAGE CEILING AND ALL STRUCTURAL COMPONENTS SUPPORTING SUCH CEILING
- 2 X 6 STUDS @ 16" O.C. AT FRONT WALL TO FRAME GARAGE DOOR.

CUSTOM ADDITION FOR:
CROWLEY
 400 E. PALM ST.
 LITCHFIELD PARK, AZ.
FLOOR PLAN



GENERAL NOTES:

- DIMENSIONS ON FLOOR PLAN ARE SHOWN FACE TO FACE ON EXTERIOR WALLS AND INTERIOR WALLS DIMENSIONS, CENTERLINE TO CENTERLINE ON ALL WINDOWS, EDGE TO EDGE FOR EXTERIOR DOOR OPENINGS.
- SHEAR WALLS INSTALLED ON ENTIRE EXTERIOR WALL.
 - O.S.B PLYWOOD 3/8" THICK
 - #9 NAILS 6" O.C. AT ALL ENDS, EDGES, AND JOINTS - PROVIDE BLOCKING.

SQUARE FOOTAGE	
EXIST LIVABLE	2018
EXIST GAR/ ENTRY	568
EXIST PATIO	421
EXIST STORAGE	79
NEW GARAGE	296
TOTAL	3400

SHEARWALL & HOLDOWN SCHEDULE
SEE SCHEDULES ON SHEET A1

SYMBOL	DESCRIPTION
○	HOLDOWN
◇	SHEARWALL

FLOOR PLAN

SCALE 1/4" = 1'-0"

DRAWN BY: D. FREET

SCALE: 1/4"=1'-0" DATE: 8/5/25

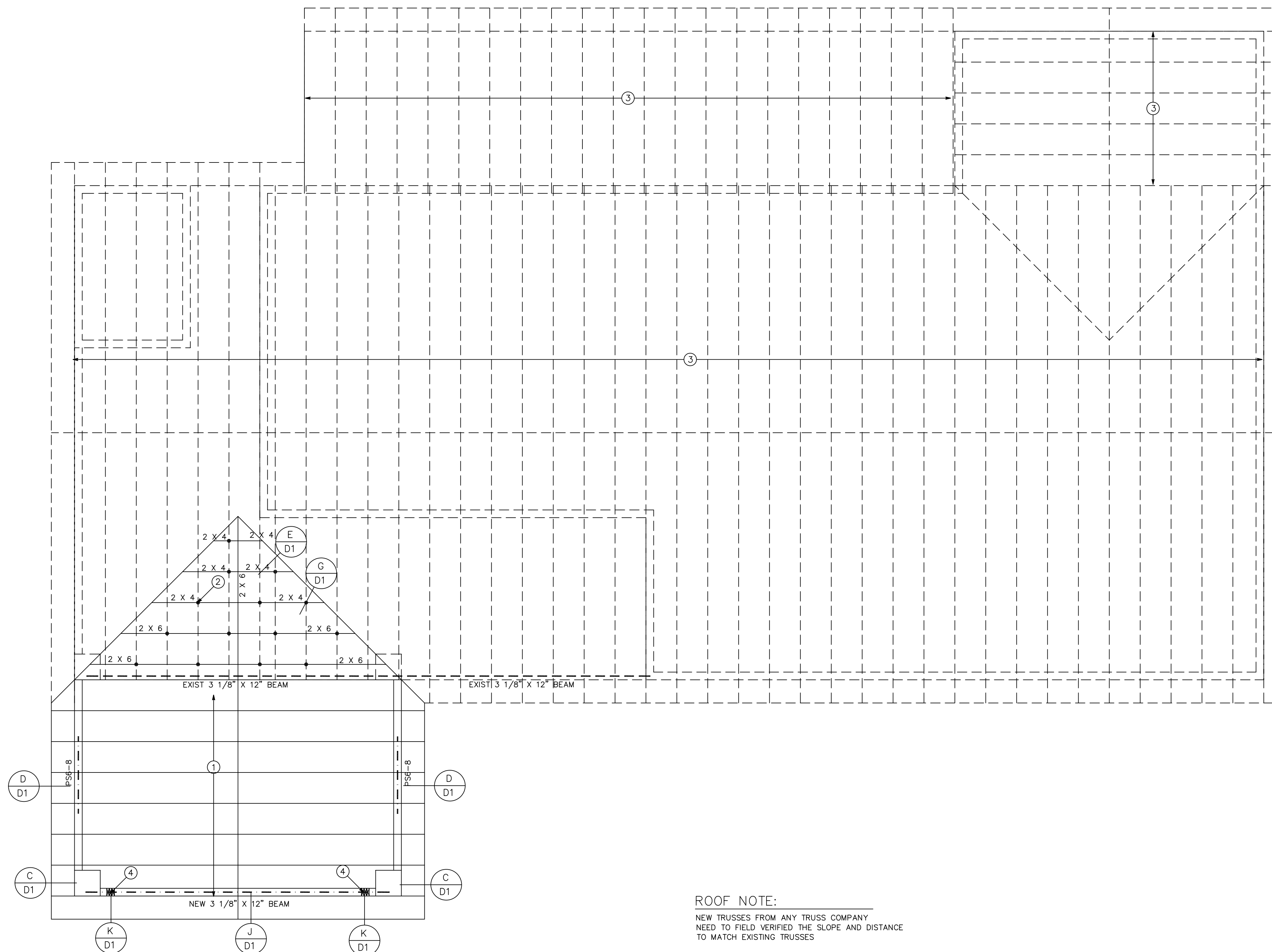
REVISIONS

NO.	DESCRIPTION

SHEET #

A3

SHEET 3 OF 8



ROOF NOTE:
 NEW TRUSSES FROM ANY TRUSS COMPANY
 NEED TO FIELD VERIFY THE SLOPE AND DISTANCE
 TO MATCH EXISTING TRUSSES

ROOF DIAPHRAGM
 1/2" APA RATED SHEATHING W/ 8d NAILS
 6" O.C. BOUNDARIES
 6" O.C. PLYWOOD EDGES
 12" O.C. INTERMEDIATE NAILING

ROOF PLAN
 SCALE 1/4" = 1'-0"

KEYED NOTES:

1. PRE-ENGINEERED CITY/COUNTY APPROVED COMMON TRUSSES @ 24" O.C.
2. TYP. 2 X 4 POSTS @ 48" O.C.
3. EXISTING ROOF STRUCTURE TO REMAIN
4. BEARING POSTS - (2) 2 X 6 STUDS UNLESS NOTED OTHERWISE

GENERAL NOTES:

1. 4:12 PITCH (VERIFY EXISTING SLOPE)
2. ROOF LOAD:
 LIVE LOAD: 20 P.S.F.
 DEAD LOAD: 24 P.S.F.
 TOTAL LOAD: 44 P.S.F.
3. ALL HEADER HEIGHTS @ 7'-0" U.N.O.
4. PLATE HEIGHT @ 8'-0" U.N.O.

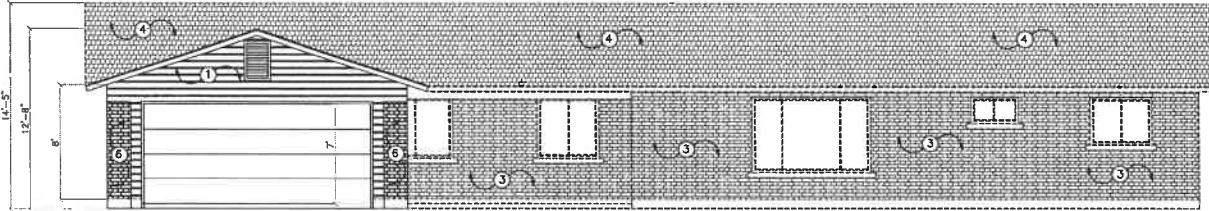
CUSTOM ADDITION FOR:
CROWLEY
 400 E. PALM ST.
 LITCHFIELD PARK, AZ.

ROOF PLAN

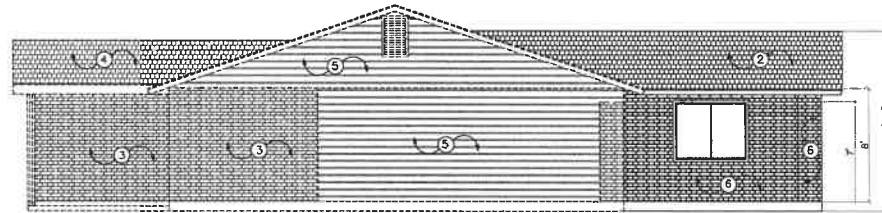
DRAWN BY: D. FREET
 SCALE: 1/4"=1'-0" DATE: 8/5/25

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SHEET #
A4
 SHEET 4 OF 8



SOUTH ELEVATION
1/4"=1'-0"



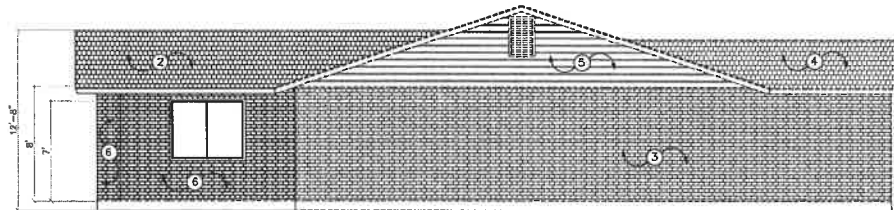
WEST ELEVATION
1/4"=1'-0"

NOTE:
ROOF COMPANIES WHO ARE TO SUPPLY TRUSSES
ARE TO FIELD VERIFY EXIST TRUSS PITCH AND TO MATCH
EXIST TRUSSES.

ATTIC VENT CALC'S

TOTAL = 402
 402 S.F. (1/300) = 1.34
 TOTAL = 1.34 S.F. REQUIRED NET FREE VENTILATION AREA.
 PROVIDE 1 - 18 X 30 GM METAL LOUV.
 GABLE END VENTS @ 1.51 EA. = 1.51 S.F.
 TOTAL 2.34 S.F. NET. FREE AREA PROVIDED

PROVIDE VENTED FREEZE BOARDS IN BETWEEN EA. TRUSS.
 201 (1/200) = 0.67 S.F. NET FREE AREA REQUIRED (LOW)
 17' BOARDS = 0.63 S.F. NET FREE AREA PROVIDED



EAST ELEVATION
1/4"=1'-0"

KEYED NOTES:

1. 1 X 8 ENGINEERED WOOD EXTERIOR SING. OVER VAPOR BARRIER EPSI 1507
2. CURFENORIAL SHINGLE ROOF FSHI 3247 OR APPROVED EQUAL OVER 3/4" FTL OVER 1/2" G.S.B. COLOR AND TEXTURE TO MATCH EXISTING AS CLOSE AS POSSIBLE
3. EXISTING BRICK WALL TO REMAIN
4. EXISTING ROOF TO REMAIN
5. EXISTING 1 X 8 EXTERIOR SING. TO REMAIN
6. RED BRICK COLLARS @ 2 X 4 X 2 GROUTED PATTERN AND LAYOUT TO MATCH EXIST.
7. RED BRICK WALLS FOR EXTERIOR WALLS GROUT WITH #3 GAUGE DURABRE @ 8" O.C. PATTERN AND LAYOUT TO MATCH EXIST.

GENERAL NOTES:

1. SHEAR WALLS INSTALLED ON ENTIRE EXTERIOR WALLS
 - 0.5B. PLYWOOD 3/4" THICK
 - 8# WALLS @ 16" O.C. AT ALL ENDS, EDGES, AND JOINTS - PROVIDE BLOCKING.
2. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" SPACER SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENT. (SEE REVISIONS)



CUSTOM ADDITION FOR:
CROWLEY
 400 E. PALM ST.
 LITCHFIELD PARK, AZ.
ELEVATIONS

DRAWN BY: D. FREET

SCALE: 1/4"=1'-0" DATE: 8/5/25

REVISIONS

NO.	DESCRIPTION

SHEET #

A5

SHEET 6 OF 8



**DESIGN REVIEW BOARD
COMMUNICATION**

Business Item V.G
Sunken Gazebo (PZ-25-94)

To: Design Review Board Members
From: Randy Proch, Planning Director
Meeting Date: 11/6/2025

RECOMMENDED MOTION:

MOVE TO APPROVE THE PROPOSED SUNKEN GAZEBO, FILE NO. PZ-25-94, LOCATED AT 13770 W. BLOOMINGTON STREET, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATIONS 1 AND 2.

BACKGROUND/DISCUSSION:

The proposal is to construct a sunken gazebo next to a pool planned in the backyard. The property is located at 13770 W. Bloomington Street and is zoned R1-6 PD.

The proposed sunken gazebo is part of a backyard remodel that includes a pool and spa on an existing slab planned for the gazebo already. The overall height from adjacent finished grade is 10 feet and is located 5 feet from the rear and side property lines. The proposed colors are consistent with the home's primary and secondary color palettes, provided within the planset.

Staff has not received any public comments on this proposal.

STAFF RECOMMENDATION:

Staff requests that the Design Review Board take the following action:

Approve the proposal, subject to the exhibits provided by the applicant, and stipulations 1. and 2.:

1. A Building Permit issued by the City will be required before any construction is to occur.
2. Provide on-site retention for the 100-year, 6-hour event pre vs. post for the new construction, with a maximum of 12-inch depth, and show how the drain in the middle of the gazebo shall function.

FINANCIAL IMPACT:

N/A

ATTACHMENTS:

1. PZ-25-94 Report Attachments

GENERAL NOTES

GENERAL NOTES AND PROJECT REQUIREMENTS

CONTRACTOR SHALL BECOME FAMILIAR WITH OWNERS REQUIREMENTS PRIOR TO BIDDING AND SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THESE REQUIREMENTS.

CONTRACTOR ACKNOWLEDGES AND UNDERSTANDS THAT THE CONTRACT DOCUMENTS MAY REPRESENT IMPERFECT DATA AND MAY CONTAIN ERRORS, OMISSIONS, CONFLICTS, INCONSISTENCIES, CODE VIOLATIONS AND IMPROPER USE OF MATERIALS. SUCH DEFICIENCIES WILL BE CORRECTED WHEN IDENTIFIED. CONTRACTOR AGREES TO CAREFULLY STUDY AND COMPARE THE INDIVIDUAL CONTRACT DOCUMENTS AND REPORT AT ONCE IN WRITING TO THE OWNER ANY DEFICIENCIES THAT MAY BE DISCOVERED. CONTRACTOR FURTHER AGREES TO REQUIRE EACH SUBCONTRACTOR TO LIKEWISE STUDY THE DOCUMENTS AND REPORT AT ONCE ANY DEFICIENCIES DISCOVERED.

ITEMS NOT INDICATED IN THESE DOCUMENTS THAT CAN BE LEGITIMATELY AND REASONABLY INFERRED TO COMPLETE THE WORK AT HAND SHALL BE FURNISHED BY THE CONTRACTOR AS THOUGH IT WERE DETAILED HEREIN.

CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BIDDING AND SHALL BECOME FAMILIAR WITH EXISTING CONDITIONS AND SHALL NOTIFY ARCHITECT OF ANY / ALL DISCREPANCIES BETWEEN THESE PLANS AND EXISTING CONDITIONS.

CONTRACTOR WILL INSPECT THE PROJECT SITE TO CHECK EXISTING WORKING CONDITIONS. SHOULD CONTRACTOR FIND CONDITIONS WHICH HE BELIEVES WOULD IMPED HIS WORK, SUCH CONDITIONS MUST BE REPORTED IMMEDIATELY TO THE DESIGNER AND / OR OWNER PRIOR TO START OF CONSTRUCTION WITH FOLLOW-UP IN WRITING WITHIN TWO (2) WORKING DAYS. FAILURE TO SO WILL CONSTITUTE NOTICE THAT CONTRACTOR IS FULLY SATISFIED WITH THE EXISTING CONDITIONS AND THAT HE INTENDS TO PERFORM HIS OBLIGATIONS WITH NO ALLOWANCE EITHER IN TIME OR MONEY FOR ANY IMPEDIMENTS TO HIS WORK.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD IF DIMENSIONAL ERROR OCCURS OR CONDITION NOT COVERED IN THE DRAWINGS IS ENCOUNTERED. CONTRACTOR SHALL NOTIFY THE DESIGNER AND / OR OWNER BEFORE COMMENCING THAT PORTION OF THE WORK.

DIMENSIONS TAKE PRECEDENCE OVER SCALE ON CONSTRUCTION DOCUMENTS.

SUPPLIERS AND CONTRACTORS SHALL ENSURE THAT ALL FEDERAL AND / OR LOCAL CODE STANDARDS ARE MET IN EQUIPMENT AND / OR MATERIALS SUPPLIED AND INSTALLED. SUPPLIERS AND CONTRACTORS SHALL NOT SCALE DRAWINGS. IF A DIMENSION IS NOT PROVIDED, CONTACT THE DESIGNER AND / OR OWNER PRIOR TO PROCEEDING. LOCAL AND CODE STANDARDS THAT ARE REASONABLY IMPLIED ON THE DRAWINGS AND NOT MET BY EITHER THE SUPPLIERS AND / OR CONTRACTOR SHALL BE CORRECTED BY THE SUPPLIER AND / OR CONTRACTOR AT NO COST TO THE OWNER.

CONTRACTOR SHALL RESOLVE ALL REPORTED DEFICIENCIES WITH OWNER PRIOR TO AWARDED ANY SUBCONTRACTS OR STARTING ANY WORK WITH THE CONTRACTOR'S OWN EMPLOYEES. IF ANY DEFICIENCIES CAN NOT BE RESOLVED BY THE CONTRACTOR WITHOUT ADDITIONAL TIME OR ADDITIONAL EXPENSE, THE CONTRACTOR SHALL SO INFORM THE OWNER IN WRITING. ANY WORK PERFORMED PRIOR TO RECEIPT OF INSTRUCTION FROM THE OWNER WILL BE DONE AT THE CONTRACTOR'S OWN RISK.

THIS DOCUMENT SET SHALL BE ISSUED TO ALL PARTIES IN ITS ENTIRETY PER THE SHEET INDEX. CONTRACTOR SHALL ENSURE THAT ALL SUBCONTRACTORS HAVE REVIEWED THE ENTIRE DOCUMENT SET FOR THEIR RESPONSIBILITIES AND THAT NO PARTIAL SETS HAVE BEEN ISSUED. ANY DISCREPANCIES THAT ARISE SHALL BE THE FULL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REMEDY IN RELATION TO SCHEDULE AND COST IMPACTS.

CONTRACTOR SHALL SUPERVISE AND DIRECT WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION AND / OR INSTALLATION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF WORK UNDER THE CONTRACT.

ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.

ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURERS' WRITTEN SPECIFICATIONS OR INSTRUCTIONS UNLESS HEREIN AFTER SPECIFIED TO THE CONTRARY.

ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMAN LIKE MANNER ACCEPTABLE TO OWNER.

WHEN WORK NOT SPECIFICALLY CALLED OUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED AND BE OF THE BEST MATERIALS AND WORKMANSHIP.

CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION (IN WRITING).

UNLESS OTHERWISE SPECIFICALLY NOTED, CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK.

THE OWNER SHALL PAY ALL FEES FOR PERMITS, ETC., NECESSARY FOR PROPER COMPLETION OF THE WORK UNLESS OTHERWISE INFORMED.

CONTRACTOR SHALL REVIEW THE FINAL FINISH SAMPLES FOR THE PROJECT WITH THE OWNER PRIOR TO INSTALLATION.

CONTRACTOR WARRANTS TO THE OWNER AND THE ARCHITECT THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. ALL WORK NOT SO CONFORMING TO THESE STANDARDS MAY BE CONSIDERED DEFECTIVE. IT IS UNDERSTOOD THAT NO INFERIOR OR NON-COMFORMING WORK OR MATERIALS WILL BE ACCEPTED WHETHER DISCOVERED AT THE TIME THEY ARE INCORPORATED IN THE WORK OR AT ANY TIME BEFORE OR AFTER THE FINAL ACCEPTANCE. IF REQUIRED BY THE OWNER, THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS AND EQUIPMENT.

THE WARRANTIES AND GUARANTEES PROVIDED IN THE CONSTRUCTION DOCUMENTS SHALL BE IN ADDITION TO AND NOT IN LIMITATION OF ANY OTHER WARRANTY OR GUARANTY OR REMEDY REQUIRED BY LAW.

CONTRACTOR SHALL PROVIDE PROPER SHORING AND DISCONNECTION OF ANY / ALL UTILITIES AS REQUIRED BEFORE ANY DEMOLITION.

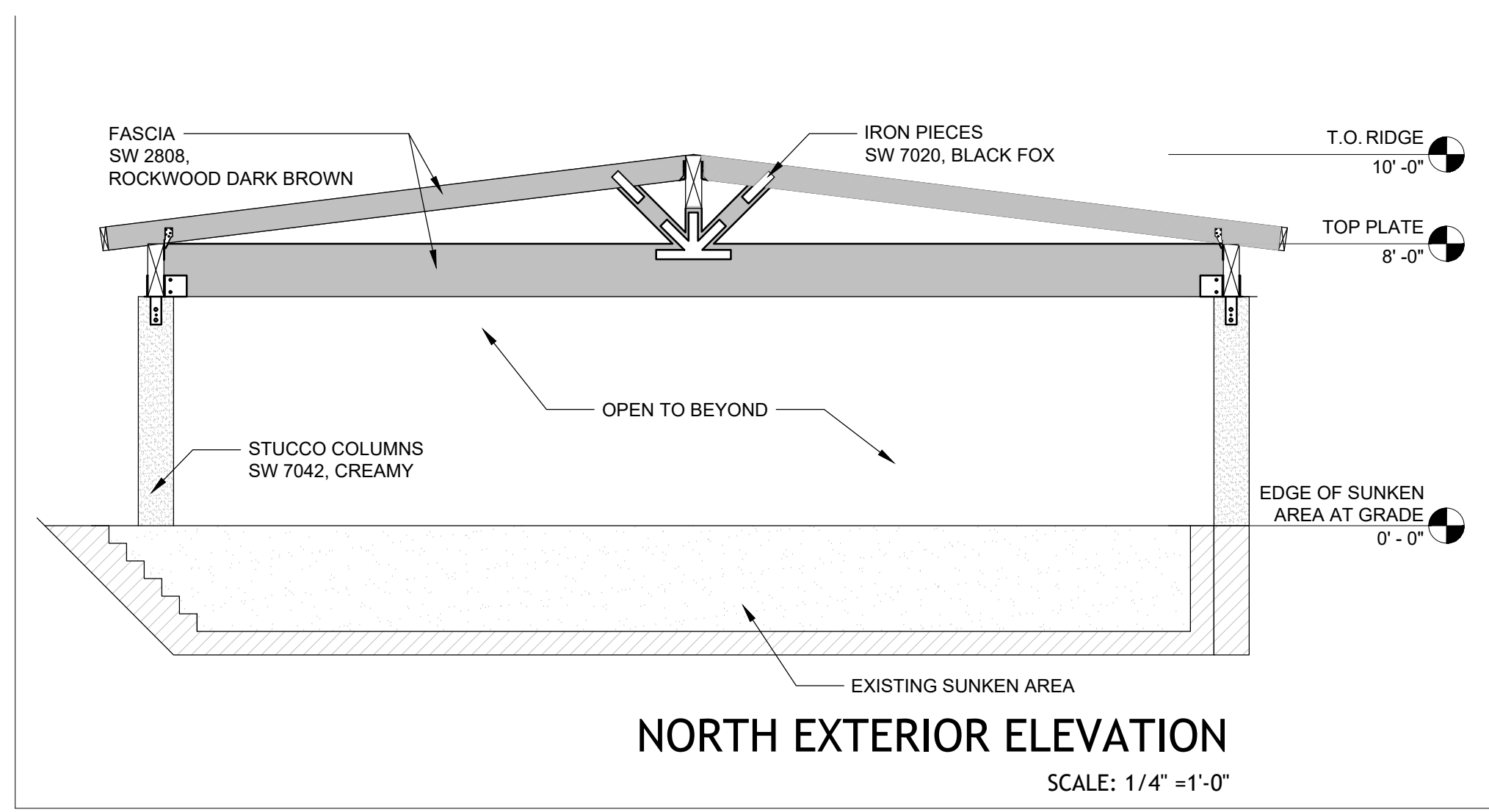
CONTRACTOR SHALL PATCH, REPAIR, REPLACE AND FINISH ANY FLOOR, WALL AND / OR CEILING TO MATCH ADJACENT AS REQUIRED DUE TO ANY DEMOLITION.

ALL MILLWORK ITEMS SHALL BE CONSTRUCTED PER A.W.I. SPECIFICATIONS FOR PREMIUM GRADE.

OWNER ASSUMES CONTRACTOR HAS INCLUDED IN HIS BID THE HIGHEST QUALITY AND GREATEST QUALITY FOR PURPOSE OF RESOLVING CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.

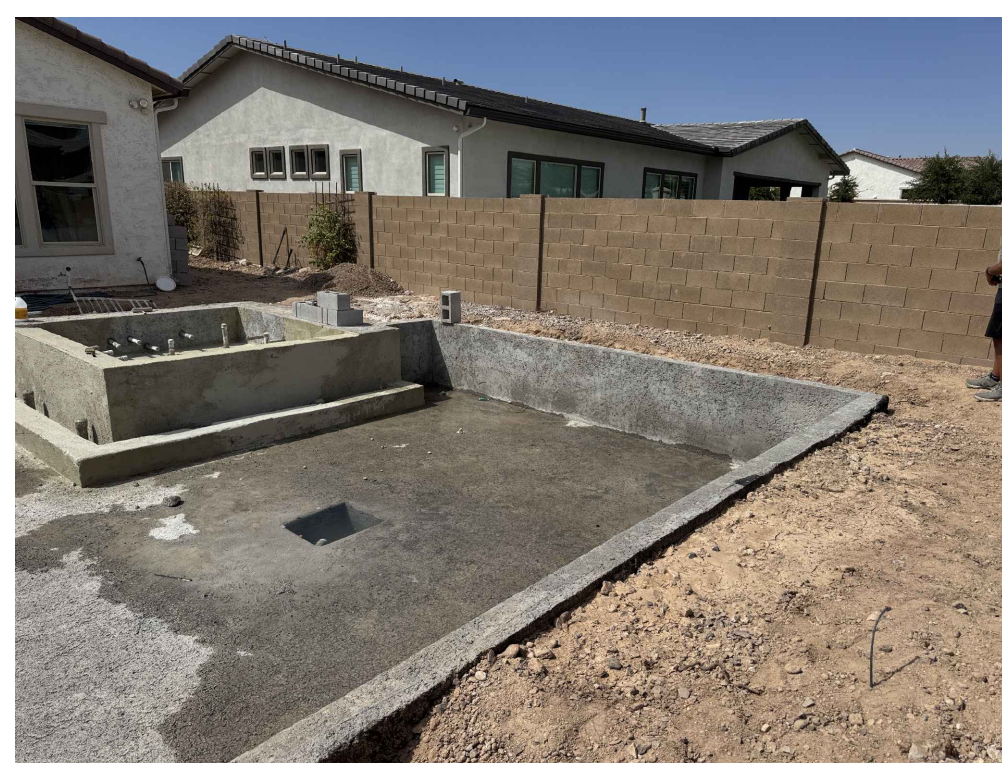
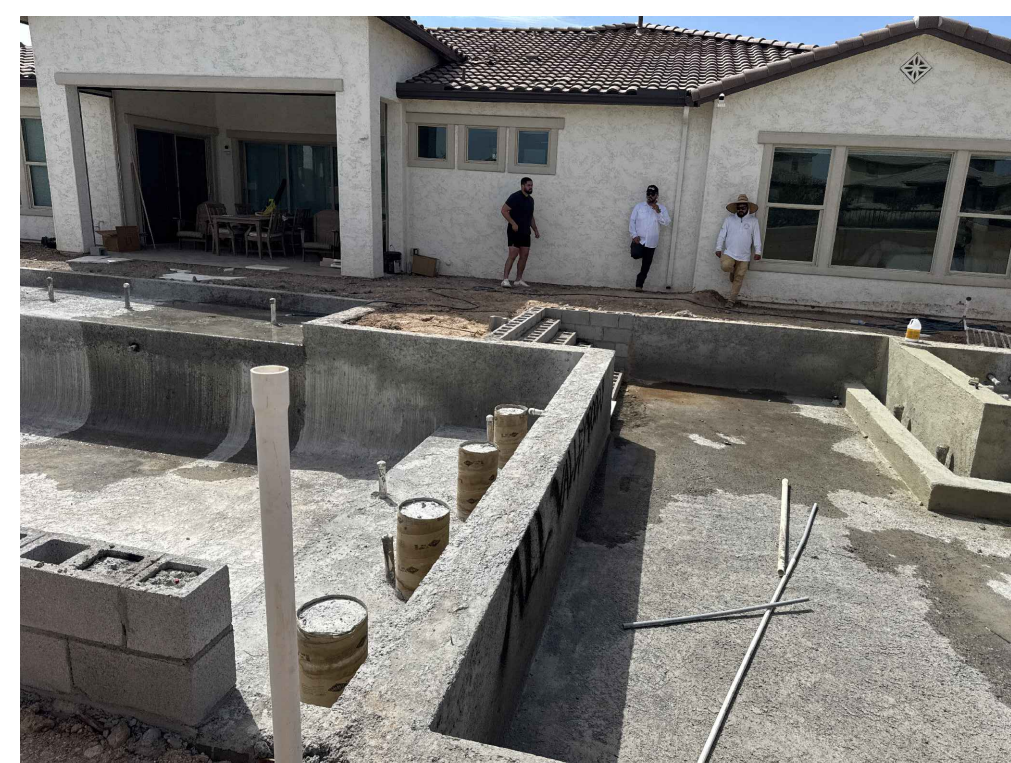
IT IS CONTRACTORS RESPONSIBILITY TO COORDINATE, LOCATE, AND CONFIRM THE LOCATION OF ALL SERVICES, UNDERGROUND, OVERHEAD PLUMBING AND ELECTRICAL STUB-UPS.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINAL INSPECTIONS AND PROVIDE THE OWNER WITH THE CERTIFICATE OF OCCUPANCY. ALL GLASS AND GLAZING SHALL WITH IBC CHAPTER 24. SAFETY GLAZING SHALL COMPLY WITH CPSC, TITLE 16 CFR PART 1201. GLASS IN HAZARDOUS LOCATIONS AS DEFINED AND DESCRIBED IN IBC SECTION 2406.3 SHALL BE TEMPERED OR SAFETY GLAZING.



PAINT COLOR PALETTE

SUNSET TERRACE AT LITCHFIELD PARK
RICHMOND SPANISH: SCHEME 1
BODY: SW 7012, CREAMY
FASCIA: SW 2808, ROCKWOOD DARK BROWN
IRON: SW 7020



PROJECT INFORMATION

JURISDICTION:
CITY OF LITCHFIELD PARK
CITY HALL
214 W. WIGWAM BOULEVARD
LITCHFIELD PARK, AZ
PHONE (623) 935-5033

PROJECT:
13770 BLOOMINGTON STREET
LITCHFIELD PARK, AZ 85340

JURISDICTION: LITCHFIELD PARK
S/T/R: 15 2N 1W
APN: 508-06-632
ZONING: R1-8
LOT: 92
PAC: 0141
SUBDIVISION: LA LOMA RESIDENTIAL AKA SUNSET TERRACE

PROJECT SCOPE:
EXISTING SINGLE FAMILY HOME INTERIOR REMODEL. FULL KITCHEN REMODEL, BOTH EXISTING BATHROOMS REMODELED, NEW BUTLERS PANTRY, NEW LAUNDRY ROOM, NEW POWDER ROOM AND NEW EXTERIOR POWDER ROOM. MEP PER NEW LAYOUT.

OWNER:
APRIL PARRA
13770 BLOOMINGTON STREET
LITCHFIELD PARK, AZ 85340

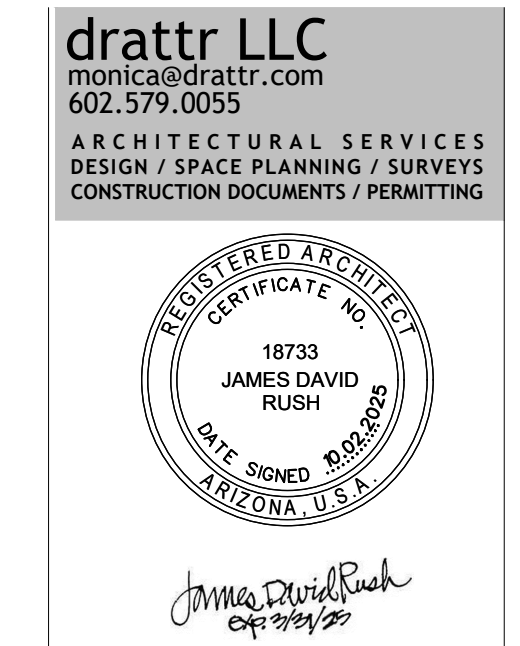
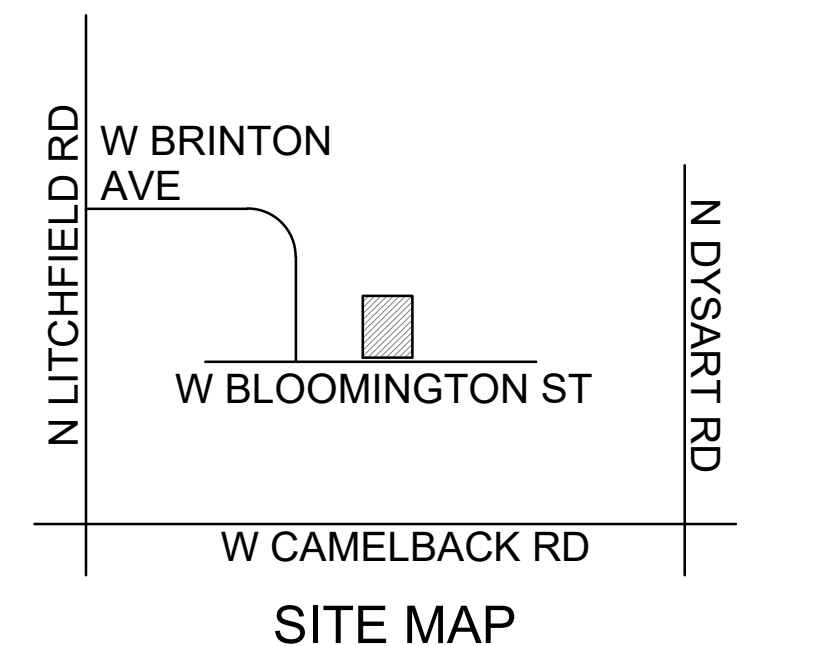
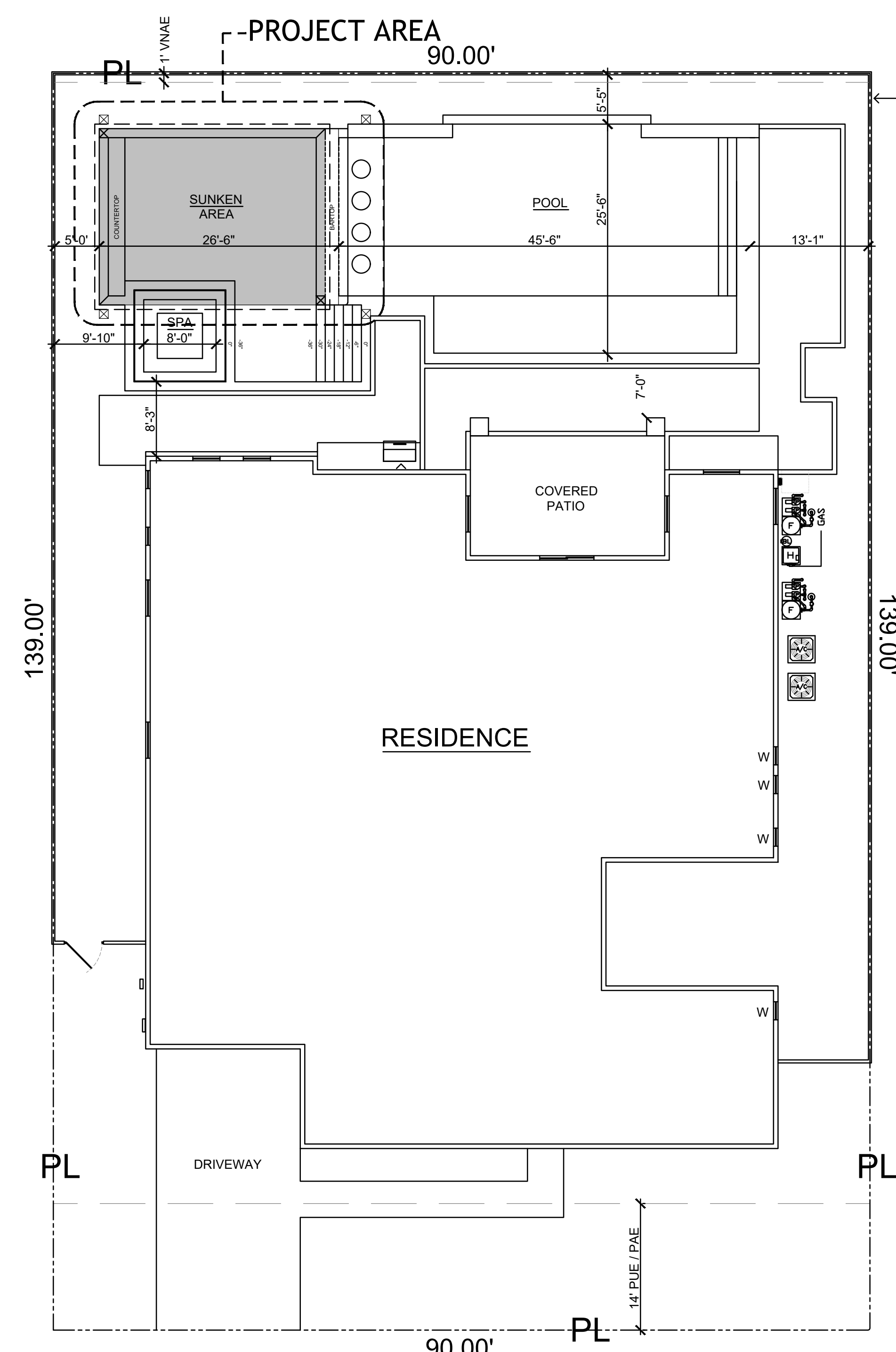
DESIGNER:
MONICA PEREZ
monica@drattr.com
602-579-0055

CODES:

- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 INTERNATIONAL EXISTING BUILDING CODE
- 2017 NATIONAL ELECTRIC CODE

DRAWING INDEX

C1.0	GENERAL NOTES / PROJECT INFO / SITE PLAN / VICINITY MAP
A1.0	FOUNDATION PLAN
A2.0	ROOF FRAMING PLAN
A3.0	DETAIL / CALCULATIONS
A4.0	EXTERIOR ELEVATIONS



APRIL PARRA GAZEDO
13770 W BLOOMINGTON ST.
LITCHFIELD PARK, AZ 85340

STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT LITCHFIELD PARK, AZ. IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND IS CONTRARY TO THE LAW. THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE OWNER LISTED ON THE COVER SHEET AND SHALL NOT BE DISPLAYED IN ANY MANNER OR USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH THE OWNER. WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ARCHITECT IS TO BE NOTIFIED IN WRITING OF ANY DISCREPANCIES IN DIMENSIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. THESE DRAWINGS ARE INTENDED FOR DESIGN PURPOSES ONLY AND NOT FOR USE IN CONSTRUCTION UNLESS APPROVED AS SUCH BY GOVERNING AUTHORITIES.

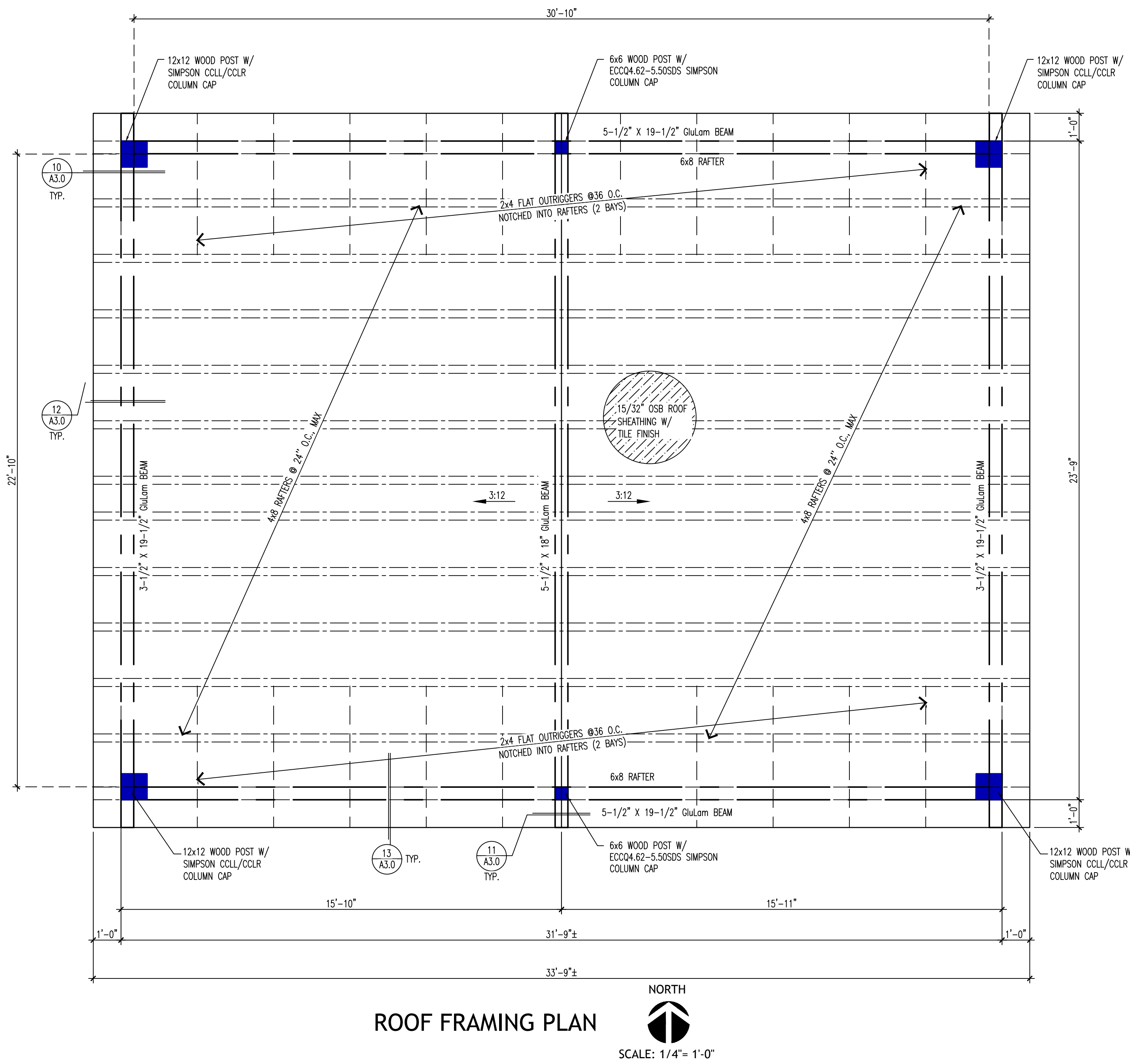
DRAWN BY: M. PEREZ
CHECKED BY: M. PEREZ
ISSUE DATE: 10.02.2025

NO.	REVISION:	DATE:

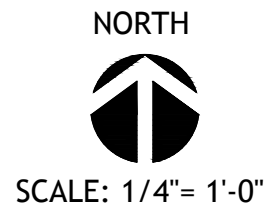


APPROVAL STAMP

A1.0
GENERAL NOTES / PROJECT INFO / SITE PLAN / VICINITY MAP



ROOF FRAMING PLAN



Wind - Analysis

Code	ASCE 7-16	
Occupancy	R (Residential)	
Risk category	II	
Ultimate Wind speed	105 mph	ASCE Fig. 26.5-1/ ASCE Hazard Report
Nominal Win speed $V_{nom} = V/0.6$	81.33 mph	
Exposure Category	C	ASCE 26.7
Enclosure classification	Open Building	
Internal pressure	+/-0	
Roof type	Gable	
Building Geometry		
Roof slope / Angle θ	3.00 / 12	14.0 deg
Building Length (L)	31.00 ft	
Building min width (W)	23.00 ft	
Mean roof (h)	10.50 ft	
Parapet height	0.00 ft	
Parapet height above ground	0.00 ft	
Directionality factor (Kd)	0.85	ASCE Tab. 26.6-1
Topographic Factor (Kzt)	1.00	Flat (ASCE Tab. 26.6-2)
Ground Elevation factor (Ke)	1.00	ASCE 26.10.1
Velocity Pressure exposure coef. (Kz/Kz)	0.849	ASCE 26.10.1
Velocity Pressure exposure coef. at parapet height (Kp)	0.000	ASCE 28.3.2

$q_h = 0.00256 \cdot K_z \cdot K_{zt} \cdot K_d \cdot K_e \cdot V^2$
 $q_h = 20.37 \text{ psf}$
 $G = 0.85$

Roof Pressures - Wind Normal to ridge

p = $q_h \cdot GC_N$	$\gamma = 0 \text{ deg}$	CASE	$\gamma = 180 \text{ deg}$
C _{NW} = -0.86	P = -14.89 psf	A	1.25 P = 21.64 psf
C _{NW} = -1.26	P = -21.81 psf		P = 27.52 psf
C _{NW} = -1.84	P = -31.85 psf	B	1.77 P = 30.64 psf
C _{NW} = 0	P = 0.00 psf		0.56 P = 9.69 psf

Roof Pressures - Wind Parallel to ridge

p = $q_h \cdot GC_N$	CASE	<h	>h<2t	>2h
C _n = -0.8	P =	-13.85 psf		
C _n = -0.6	P =		-10.39 psf	
C _n = -0.3	P =			-5.19 psf
C _n = 0.8	P =	13.85 psf		5.19 psf
C _n = 0.5	P =		8.66 psf	
C _n = 0.3	P =			

Loads Combinations (ASD)

	DL	Lr	DL+Lr	DL+0.6W	DL+0.75Lr+0.75*0.6W
DL	5,558.4 lb		9,829.7 lb	5,558.4 lb	5,558.4 lb
Lr	4,271.3 lb			0	3,203.4 lb
W(Mom_DL)	0.0 lb*ft		0.0 lb*ft		
W (Mom_W)	9,625.9 lb*ft			5,775.5 lb*ft	4,331.6 lb*ft
W (Shear_W)	927.8 lb		0	556.7 lb	417.5 lb

Footing- Analysis

Loads Combinations (ASD)

	DL	Lr	DL+Lr	DL+0.6W	DL+0.75Lr+0.75*0.6W
DL	5,558.4 lb		9,829.7 lb	5,558.4 lb	5,558.4 lb
Lr	4,271.3 lb			0	3,203.4 lb
W(Mom_DL)	0.0 lb*ft		0.0 lb*ft		
W (Mom_W)	9,625.9 lb*ft			5,775.5 lb*ft	4,331.6 lb*ft
W (Shear_W)	927.8 lb		0	556.7 lb	417.5 lb

FOOTING AT NEW POST - ANALYSIS

Length (LF)	Width (wF)	Height (HF)	Concrete Volume	Concrete Density	Concrete weight	Soil Volume	Soil Density	CMU weight	Soil weight	Total Foundation + Soil weight (WTF)
5.50 ft	3.50 ft	12 in	19.25 ft ³	150 pcf	2,887.5 lb	50.1 ft ³	110 pcf	1008 lb	5514 lb	10,663.1 lb
soil on top of footing (Hs)			36 in							
Masonry above			36 in							
concrete on top of footing (Hc)			6 in	8.36 ft ³	150 pcf	1,253.3 lb				

Loads

	DL	Lr	DL+Lr
DL	5,558.4 lb		
Lr		4,271.3 lb	
DL+Lr			9,829.7 lb

P_{applied} = 20,492.7 lb - Total Axial load (Reactions + Foundation weight)
 V_w = 0.0 lb - Shear (force from wind at bottom of post)
 MF = 0.0 lb*ft
 M_{applied} = 0.0 lb*ft
 e = 0.000 ft - M_{applied}/P_{applied} $e \leq L/6$ NO
 q_{max_a} = 1,419.4 psf - 4*P_{applied}/(3*LF*(wF-2*e)) - If $e \leq L/6$, Use this EQ.
 q_{max_b} = 1,064.6 psf - P_{applied}/(LF*WF)*(1+6*e/WF) - If $e < L/6$, Use this EQ.
 q_{applied} = 1,064.6 psf
 q_{allowable} = 1,500 psf - Allowable bearing pressure per IBC Table 1806.2 - Class 5 material
 q_{allowable} = 0.71 < 1.0 OK

Loads

	DL	Lr	DL+Lr
DL	5,558.4 lb		
Lr		0.0 lb	
DL+Lr			5,558.4 lb

P_{applied} = 16,221.5 lb - Total Axial load (Reactions + Foundation weight)
 V_w = 556.7 lb - Shear (force from wind at bottom of post)
 MF = 5,775.5 lb*ft
 M_{applied} = 5,775.5 lb*ft
 e = 0.356 ft - M_{applied}/P_{applied} $e \leq L/6$ NO
 q_{max_a} = 1,410.5 psf - 4*P_{applied}/(3*LF*(wF-2*e)) - If $e \leq L/6$, Use this EQ.
 q_{max_b} = 1,357.0 psf - P_{applied}/(LF*WF)*(1+6*e/WF) - If $e < L/6$, Use this EQ.
 q_{applied} = 1,357.0 psf
 q_{allowable} = 1,500 psf - Allowable bearing pressure per IBC Table 1806.2 - Class 5 material
 q_{allowable} = 0.90 < 1.0 OK

Loads

	DL	Lr	DL+Lr
DL	5,558.4 lb		
Lr		3,203.4 lb	
DL+Lr			8,761.8 lb

P_{applied} = 8,761.8 lb - Total Axial load (Reactions + Foundation weight)
 V_w = 417.5 lb - Shear (force from wind at bottom of post)
 MF = 4,331.6 lb*ft
 M_{applied} = 4,331.6 lb*ft
 e = 0.494 ft - M_{applied}/P_{applied} $e \leq L/6$ NO
 q_{max_a} = 845.8 psf - 4*P_{applied}/(3*LF*(wF-2*e)) - If $e \leq L/6$, Use this EQ.
 q_{max_b} = 840.9 psf - P_{applied}/(LF*WF)*(1+6*e/WF) - If $e < L/6$, Use this EQ.
 q_{applied} = 840.9 psf
 q_{allowable} = 1,500 psf - Allowable bearing pressure per IBC Table 1806.2 - Class 5 material
 q_{applied} / q_{allowable} = 0.56 < 1.0 OK

THEREFORE, USE A 5'-6" x 3'-6" FOOTING W/ (4) #4 EACH WAY

Rafters - Analysis

Beam dimensions

Simple span beam	4 x 8
b width	3.5 [in]
d depth	7.25 [in]
S _m max span	15.97 [ft]
Wood weight	34 pcf

Dead Loads [psf]

Tile roof	12.0
Roof sheathing	1.6
Ceiling	2.5
MEP	1.5
Misc	2.4
Total Dead load	20.0 psf
Total Live load	20.0 psf

Loads on building

	D	Lr
Dead load	20.0 psf	20.0 psf
Beam Tributary ((2) 2x8 @ 24" O.C.)	2.00	2.00
Beam weight	5.99 plf	
Total Loads on beam	45.99 plf	40.0 plf

Ref. NDS Supplement tab. 4.A

F _b	= 900 psi	DF No. 2 - 2.4" thick	Rafter analysis
E	= 1,600,000 psi		

Bending Analysis

ASD Load case/ Combo	Allowable bending stress	Total Loads on beam	Moment on beam $M_{max} = S_w \cdot S_m / 2$	Actual bending stress	f _b ≤ F _b	Ratio
D	F _{b,D} = 1,010 psi	46.0 plf	1,467 lb*ft	f _{b,D} = 574 psi	OK	57%
D+Lr	F _{b,D+Lr} = 1,402 psi	86.0 plf	2,743 lb*ft	f _{b,D+Lr} = 1,074 psi	OK	77%

Moment of inertia (MI=bd³/12) MI = 111.1 in⁴
 (c=d/2) c = 3.63 in
 Section modulus (S=bd²/6=MI/c) S = 30.66 in³
 CD = 1.25
 CL = 0.99
 CF = 1.10

Ref. NDS Supplement tab. 4.A

F _b	= 900 psi	
E _{min}	= 1,600,000 psi	
E _{min}	= 1,600,000 psi	

Deflection Analysis

Load case/ Combo	Total Loads on	Actual deflection [in]	Allowable deflection [in] (S _a)	g _{max} ≤ S _a	Ratio
Lr	40.0 plf	0.330	L/180	0.80	OK
D+Lr	46.0 plf	0.379	1.065	OK	36%

Moment of inertia (MI=bd³/12) MI = 111.1 in⁴
 (c=d/2) c = 3.63 in
 Section modulus (S=bd²/6=MI/c) S = 30.66 in³
 Therefore Use 4x8 @ 24" O.C. for Rafters - Grade D.F. #2

Post - Analysis

Gravity Loads

	S1	S2
Roof length (Includes the overhang)	25.50 ft	33.50 ft
Roof width	A=S1*S2	854.3 sq ft
Roof area		23.0 psf
DL		20.0 psf
Lr		43.0 psf
Total Load (DL+Lr)		19,647.8 lb
Total DL on Roof	TL=A*DL	17,085.0 lb
Total Lr on Roof	TL=A*Lr	20.2 lb
Wood post_weight per lineal foot	Wc=4*Hc*WL	646.5 lb
Column height	Hc	8.0 ft
Column self weight		646.5 lb
Total DL per Column (4 columns total)	=TDL/4+Wc	5,558.4 lb
Total Lr per Column (4 columns total)	=TLr/4	4,271.3 lb
Total Load (Lr + DL) on column		9,829.7 lb

Wind loads

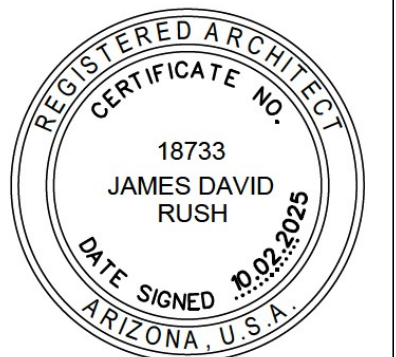
Roof length	S1 = 25.50 ft
Roof height	T1 = 4.75 ft
Wind pressure per ASCE 7-16	W = 30.64 psf
Shear at top (W*T1*S1)/2	V1 = 1,855.6 lb
Shear applied at column (0.5*V1) (Shear is carried by both columns)	VTOP = 927.8 lb
Column Height	HC = 8.00 ft
Moment at the base (VF * (HF+0.5*T1))	MF = 9,625.9 lb*ft

WOOD POSTS

Column size	height	width	depth
	Hc [ft]	b [in]	d [in]
	8	11.25	11.25

$SR = \max\left(\frac{l_{e1}}{d}, \frac{l_{e2}}{b}\right)$

Ke1 = 1.0 SR = 8.5333 < 50 OK (TOTAL BEAM REACTIONS)
 Ke2 = 1.0 COVE = 0.25 Tab. F1 - Appendix F
 l_{e1}*Ke1 = 96
 l_{e2}*Ke2 = 96
 l_{e1}/d = 8.53
 l_{e2}/b = 8.53
 E_{min} = E*[1-1.645*(COVE)]*(1.03)/1.66
 E_{min} = Emin*CM*Cr*Ci
 F_c = Fc*CD*CM*Cr*Ci
 CD = 1.25 load duration factor (Table 2.3.2)
 CM = 1.0 wet service factor (Table 4A.4F)
 Cr = 1.0 temperature factor (Table 2.3.3)
 Ci = 1.0 incision factor for dimension lumber (Table 4.3.8)
 Cf = 1.0 size factor for sawn lumber (sec. 4.3.6)
 Fc = 700 psi tab 4D - NDS (Ref. compression design-parallel to grain)
 E = 1300 ksi tab 4D - NDS (Ref. modulus of elasticity)
 Emin = 474.90 ksi
 E_{min} = 474.90 ksi
 F_c = 875 psi
 F_{cE} = 5.361 ksi critical buckling design value for compression members
 c = 0.8 for sawn lumber
 $C_p = \frac{1 + (F_{cE}/F_c)}{2c} - \sqrt{\frac{1 + (F_{cE}/F_c)}{2c} - \frac{F_{cE}/F_c}{c}}$ Cp = 0.964
 F_c = Fc*CD*CM*Cr*Ci*CP (Adjusted Compression design-parallel to grain)
 F_c = 843.50 psi
 P = 9,829.7 lb Reactions from beams (Total load applied on column)
 A = b*d = 126.56 in²
 fc = P/A = 77,666 psi (Actual Compression Stress Parallel to Grain)
 M = 9,625.9 lb
 S = 189.84 in³ Reduced section modulus
 fb1 = M/S = 608.45 psi (Actual bending stress)
 (fb1/Fc) = 0.81 < 1.0 OK (Combined axial and flexural)
 Therefore - 12x12 wood posts is adequately



James David Rush
 09/20/2025

APRIL PARRA GAZEBO
 13770 W BLOOMINGTON ST.
 LITCHFIELD PARK, AZ 85340

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DRAWN BY: M. PEREZ
 CHECKED BY: M. PEREZ
 ISSUE DATE: 9.20.2025

DATE:				

A2.0
 ROOF FRAMING PLAN

APPROVAL STAMP



View from Northwest



View from Northwest



View from Northeast



View from Northeast

Litchfield Park Public Works Facility

25-006

Schematic - Not for Construction Use

VERSION DATE: 9/3/2025

PRINTED ON: 9/3/2025

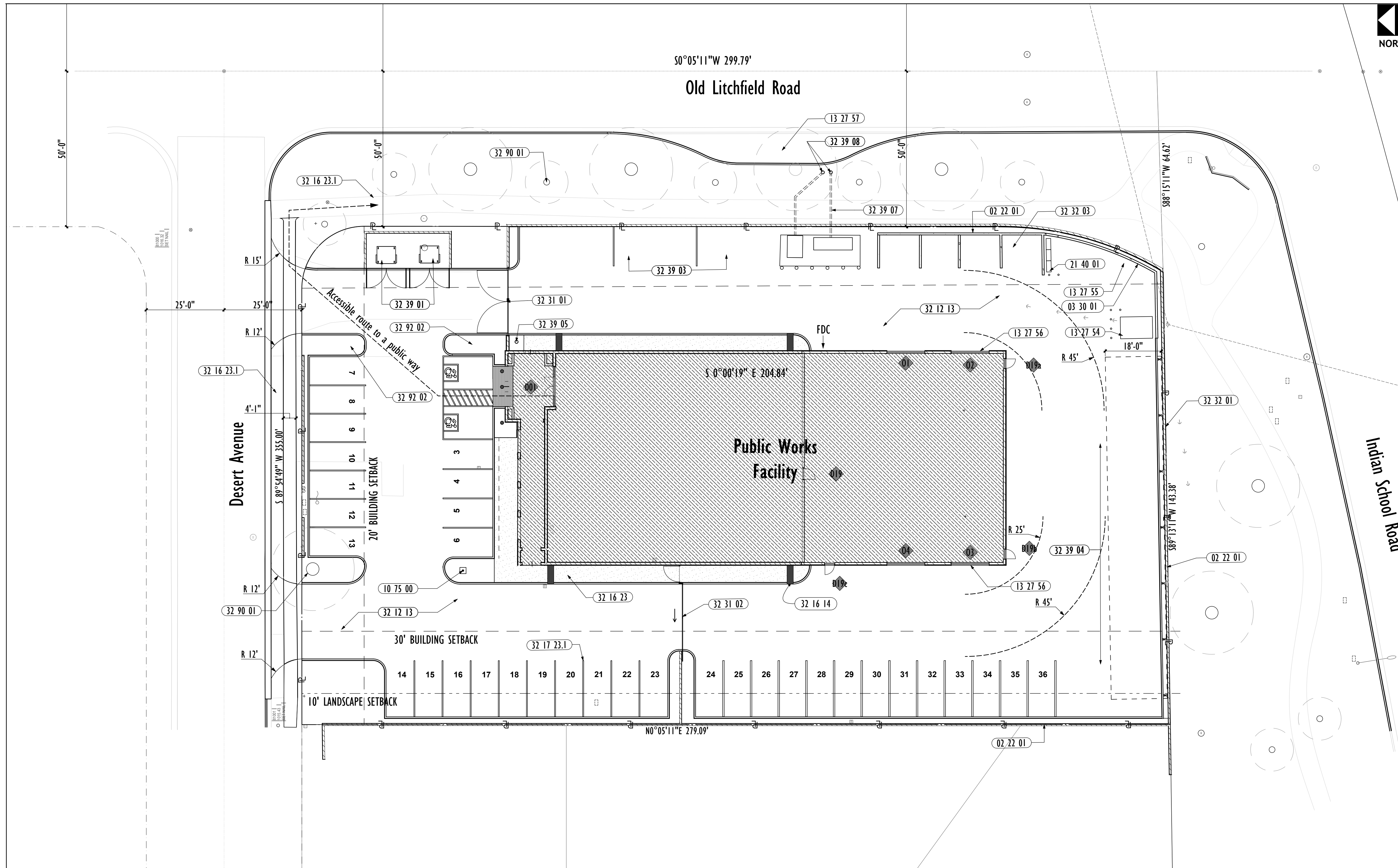
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02 22 01	existing wall to remain
03 30 01	Cast-in-place concrete wall for aggregate and green waste storage, to match height of adjacent aggregate storage bin walls
10 75 00	New 30' tall flagpole
13 27 54	Pesticide storage
13 27 55	Green waste storage
13 27 56	Drive through maintenance
13 27 57	Vehicle turn-in and fueling station
21 40 01	Relocated fire cabinets location
32 12 13	Asphalt paving
32 16 14	Sidewalk scupper
32 16 23	4" concrete sidewalk
32 16 23.1	Existing 4" concrete sidewalk
32 17 23.1	4" Parking space striping
32 31 01	Automatic swinging gate - opticom access w/Knox Box back-up
32 31 02	Automatic sliding gate - opticom access w/Knox Box back-up
32 32 01	Existing perimeter wall to remain
32 32 03	New aggregate bay
32 39 03	Street sweeper and associated parking spaces
32 39 04	Fleet vehicles associated parking spaces
32 39 01	6 yard trash dumpsters in enclosure to match standard City detail
32 39 05	New water buffalo refill station location
32 39 07	Refuel station conveyance piping for both fuel tanks (to be further detailed in mechanical plans)
32 39 08	Refuel station with connection to existing fuel tanks. See mechanical
32 90 01	Existing planting
32 92 02	New decomposed granite and planting area. See landscape

Project Data

Project Name:	Litchfield Park Public Works Facility	Use:	Business/Storage	Building Footprint (Net):	Office: 5,400 sq ft Warehouse: 4,301 sq ft
Project Address:	105 W. Desert Ave., Litchfield Park, AZ 85340	Zoning:	Public/Quasi-Public Facility	PARKING CALCULATIONS	OFFICE 1/200 5,400/200 WAREHOUSE 1/500 4,301/500
Assessor's Parcel Number:	501-70-117	Site Area:	Gross: 58,381 s.f. (1.340 Acres) Net: 44,153 s.f. (1.013 Acres)	Maximum:	27.0 8.602
Legal Description:	Tract A, Litchfield Park Subdivision NO. 16, according to Book 153 of Maps, page 15, records of Maricopa County, Arizona; EXCEPT all ores, minerals, oil, gas or other hydrocarbon substances as reserved in instrument recorded in Docket 5783, page 229, records of Maricopa County, Arizona.	Site Coverage:	Maximum: 60%	Required Parking: 36	Provided Parking: 36
Scope of work:	Construction of a new conventional office building and a pre-engineered metal building and interior improvements for an office and a workshop, respectively, in addition to related site paving, grading/drainage and utility connections	Building Setback Requirements:	Front: 20' Interior side: 20', 30' Rear: 0'	Accessible Spaces:	Typ. Parking Stall Dimensions:

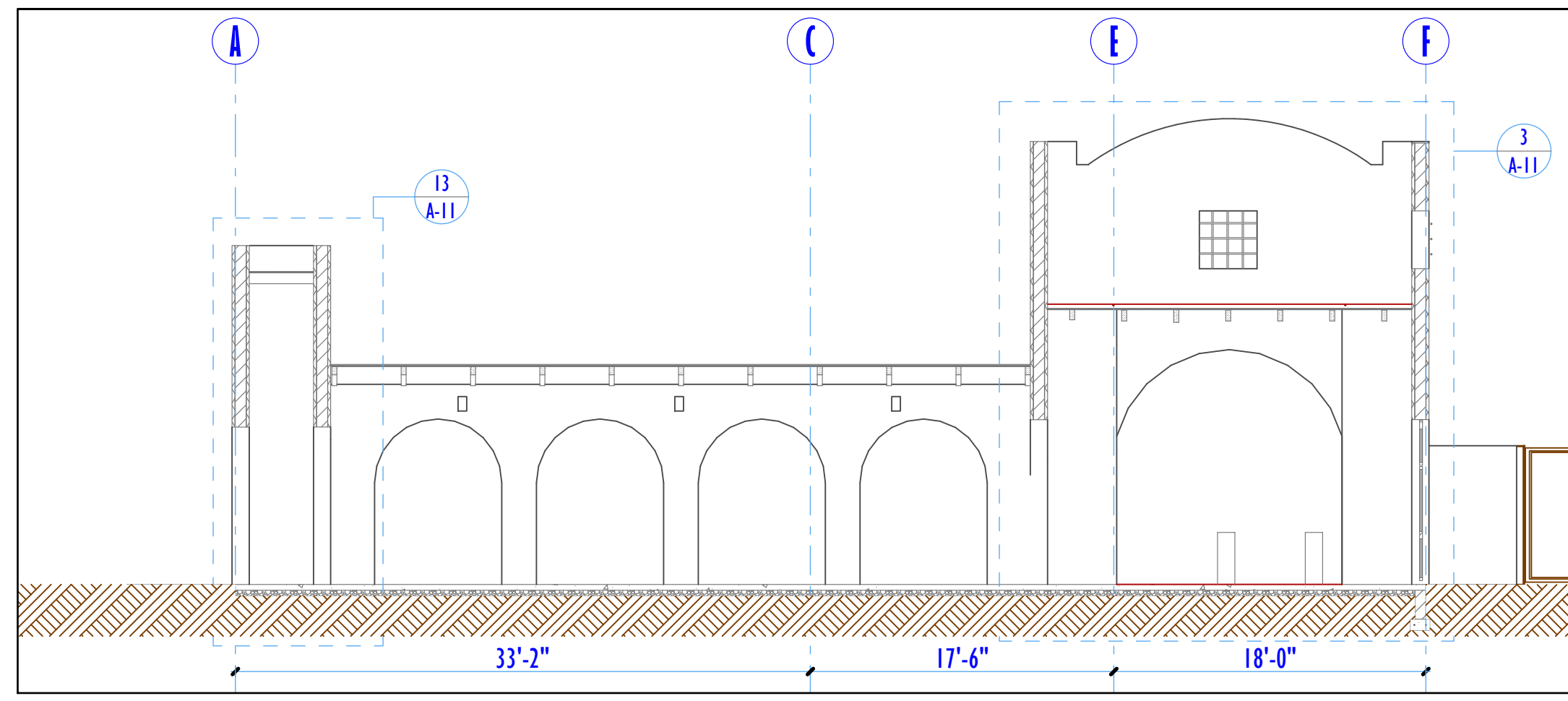
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1114 Grand Avenue - Phoenix AZ 85007 - 602.254.5599 - motneydesigngroup.com

PROJECT: Litchfield Park Public Works Facility
ADDRESS: 105 W Desert Ave, Litchfield Park, AZ 85340
PROJECT NO.: 25-006
SHEET TITLE: Site Plan
DATE OF ISSUE: 10/21/2025 **CURRENT REVISION:** .
SHEET REVISION HISTORY

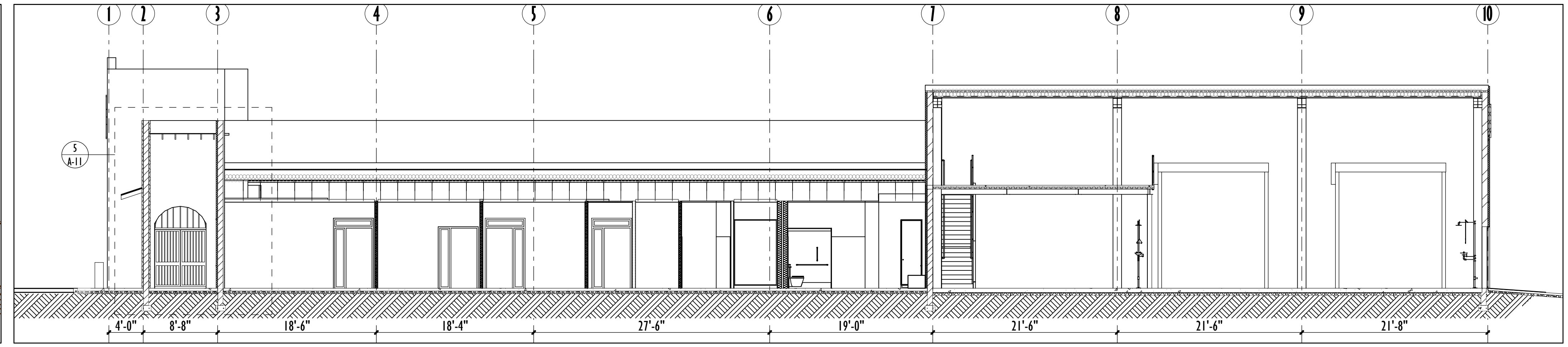
Rev#	CD	Change Name	Date

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Sheet No. **A-01**

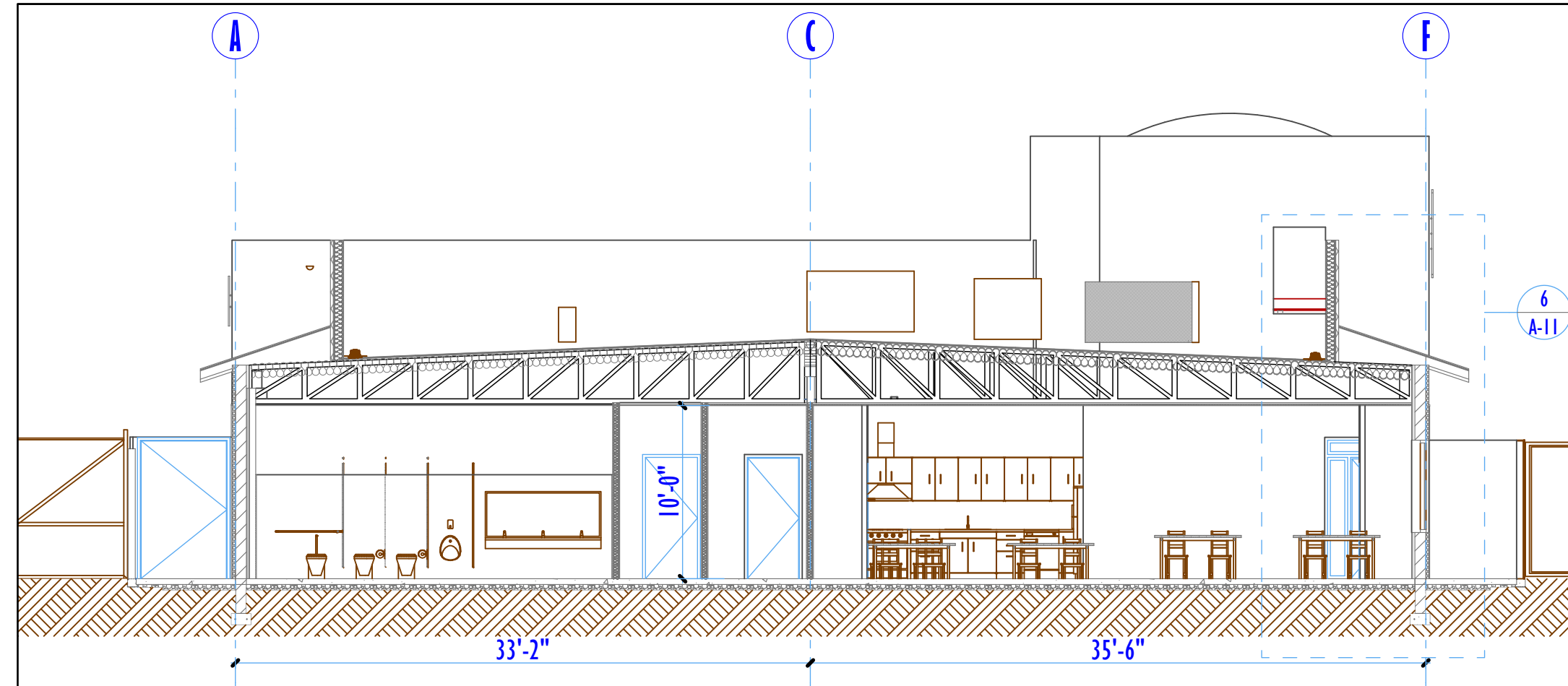
Section A-A 1/8" = 1'-0"



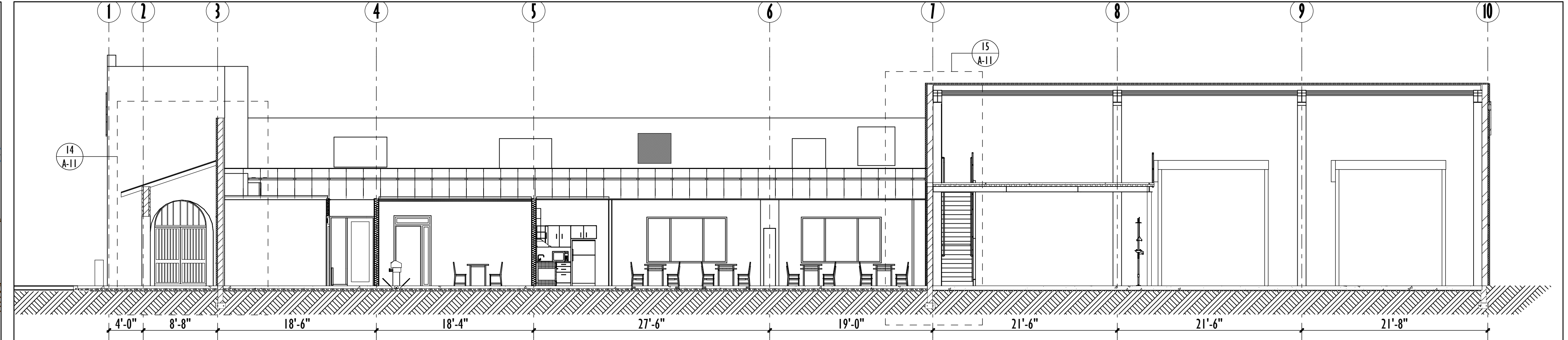
Section D-D 1/8" = 1'-0"



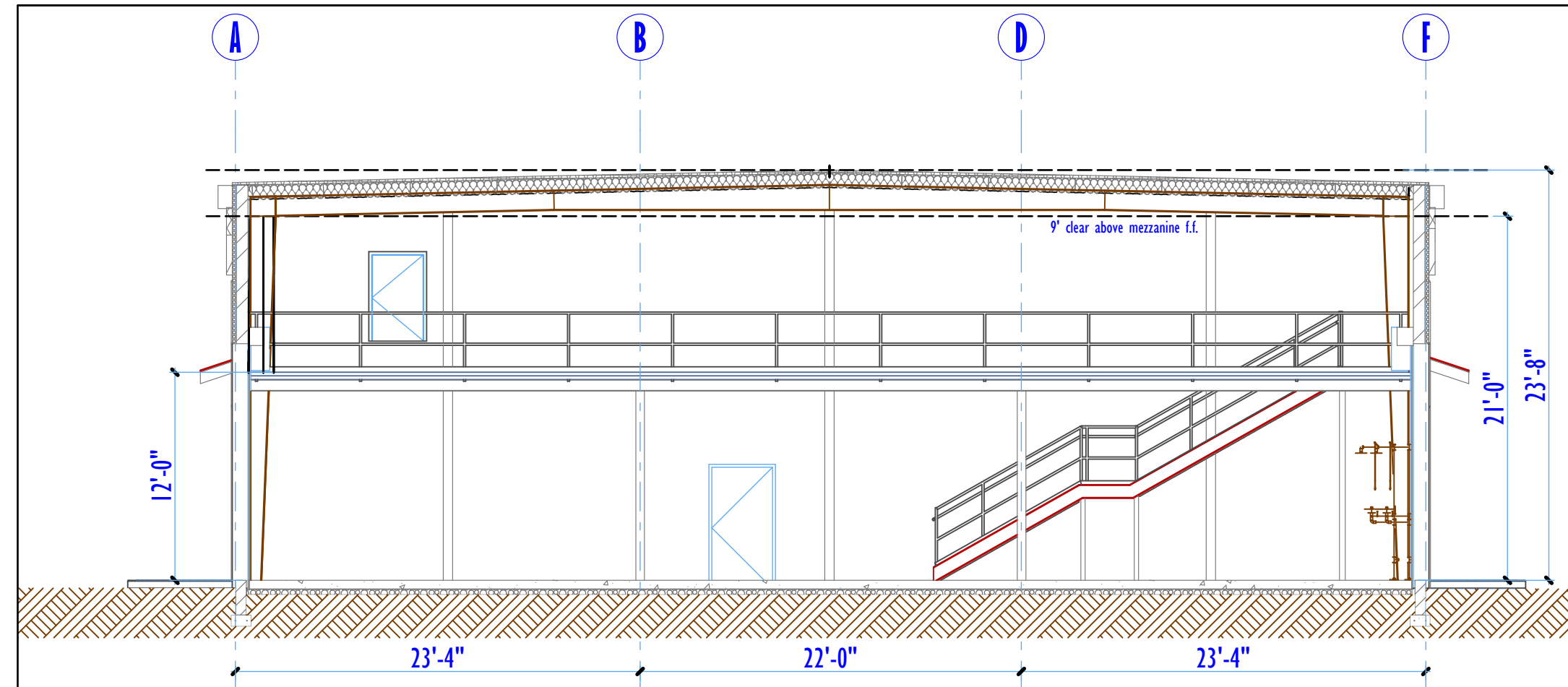
Section B-B 1/8" = 1'-0"



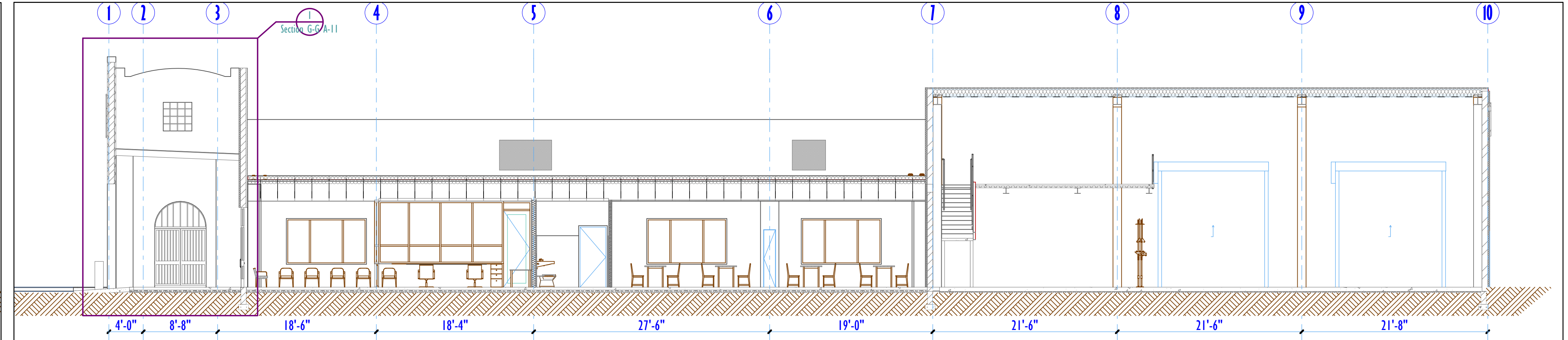
Section E-E 1/8" = 1'-0"



Section C-C 1/8" = 1'-0"



Section F-F 1/8" = 1'-0"



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PROJECT: Litchfield Park Public Works Facility
 ADDRESS: 105 W Desert Ave, Litchfield Park, AZ 85340

PROJECT NO.: 25-006
 SHEET TITLE:

Building Sections

DATE OF ISSUE: 10/21/2025 CURRENT REVISION: .
 SHEET REVISION HISTORY

Rev#	CD	Change Name	Date

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Sheet No.

A-10