

**Design Review Board**  
**Regular Meeting**  
**Agenda**

Thursday, October 2, 2025

6:00 PM

Members of the Litchfield Park Design Review Board will attend either in person, by telephone, or video conference call.  
Physical access to the meeting room will be available 30 minutes prior to the meeting.

**I. Call to Order**

- A. The agenda and packet are available at: [www.litchfieldpark.gov](http://www.litchfieldpark.gov)**
- B. A video recording of the meeting can be seen here the next business day.**

**II. Pledge of Allegiance**

**III. Call to the Community**

This is the time for citizens who would like to address the Commission on any non-agenda item. Action taken as a result of public comment will be limited to asking staff to review the matter, asking that the matter be put on a future agenda, or responding to criticism.

**IV. Response to Call to the Community**

**V. Business**

- A. Approval of Backyard Shed** ***ACTION/COMMENT***  
**Presenter:** *Randy Proch, Planning Director*  
  
Discussion and possible action to approve a modified pre-built shed in the rear yard at 502 E. Wigwam Boulevard.
- B. Approval of Arizona Room Conversion** ***ACTION/COMMENT***  
**Presenter:** *Randy Proch, Planning Director*  
  
Discussion and possible action to approve an Arizona Room conversion and associated site improvements at 519 Redondo Drive North.
- C. Approval of New Pergolas** ***ACTION/COMMENT***  
**Presenter:** *Randy Proch, Planning Director*  
  
Discussion and possible action to approve two new pergolas for a home located at 211 Bahia Lane East.
- D. Approval of New Pergola** ***ACTION/COMMENT***  
**Presenter:** *Randy Proch, Planning Director*  
  
Discussion and possible action to approve a 450 square foot pergola for a property located at 390 E. Campina Drive.
- E. Approval of Backyard Pergola** ***ACTION/COMMENT***  
**Presenter:** *Randy Proch, Planning Director*  
  
Discussion and possible action to approve a new backyard pergola located at 310 W. Campbell Avenue.
- F. Recommendation of Approval of Preliminary Hilltop Park Design** ***ACTION/COMMENT***  
**Presenter:** *Randy Proch, Planning Director*  
  
Discussion and possible action to recommend approval to the City Council the preliminary hilltop park

design located at 5374 N. Litchfield Road.

**VI. Staff Report on Current Events**

**VII. Board Members Reports on Current Events**

**VIII. Adjournment**

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Susan Charnetsky, Chair

**Affidavit of Posting**

I, Rena Dosch, do hereby certify that I caused to be posted a true and correct copy of this agenda for the Design Review Board meeting of Thursday, October 2, 2025, in the following place in the City of Litchfield Park:

1. City Hall, outside bulletin board
2. City Website

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Rena Dosch, Planning Assistant

Persons with special accessibility needs should contact City Hall, (623) 935-5033, at least 48 hours prior to the meeting.



**DESIGN REVIEW BOARD  
COMMUNICATION**

Business Item V.A  
**Approval of Backyard Shed**

**To:** Design Review Board Members  
**From:** Randy Proch, Planning Director  
**Meeting Date:** 10/2/2025

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**RECOMMENDED MOTION:**

**MOVE TO APPROVE THE PROPOSED MODIFIED SHED, FILE NO. PZ-25-74, LOCATED AT 502 E. WIGWAM BOULEVARD, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATION 1.**

**BACKGROUND/DISCUSSION:**

The proposal is to modify a pre-built shed in the rear yard. The property is located at 502 E. Wigwam Boulevard and is zoned R1-15.

The homeowner purchased a large pre-built shed to place in the rear yard. Upon installation, the structure was too large for the proposed location and did not contextually match the home's architecture. The applicant has proposed to modify the existing shed to rebuild the roof and paint it to match the home. The new location and design meets all criteria.

Staff has not received any public comments on this proposal.

**STAFF RECOMMENDATION:**

Staff requests that the Design Review Board take the following action:

Approve the proposal, subject to the exhibits provided by the applicant, and stipulation 1:

1. A Building Permit issued by the City will be required before any construction is to occur.

**FINANCIAL IMPACT:**

N/A

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**ATTACHMENTS:**

1. PZ-25-74 Report Attachments

# Storage Unit Images

Martinez Trust

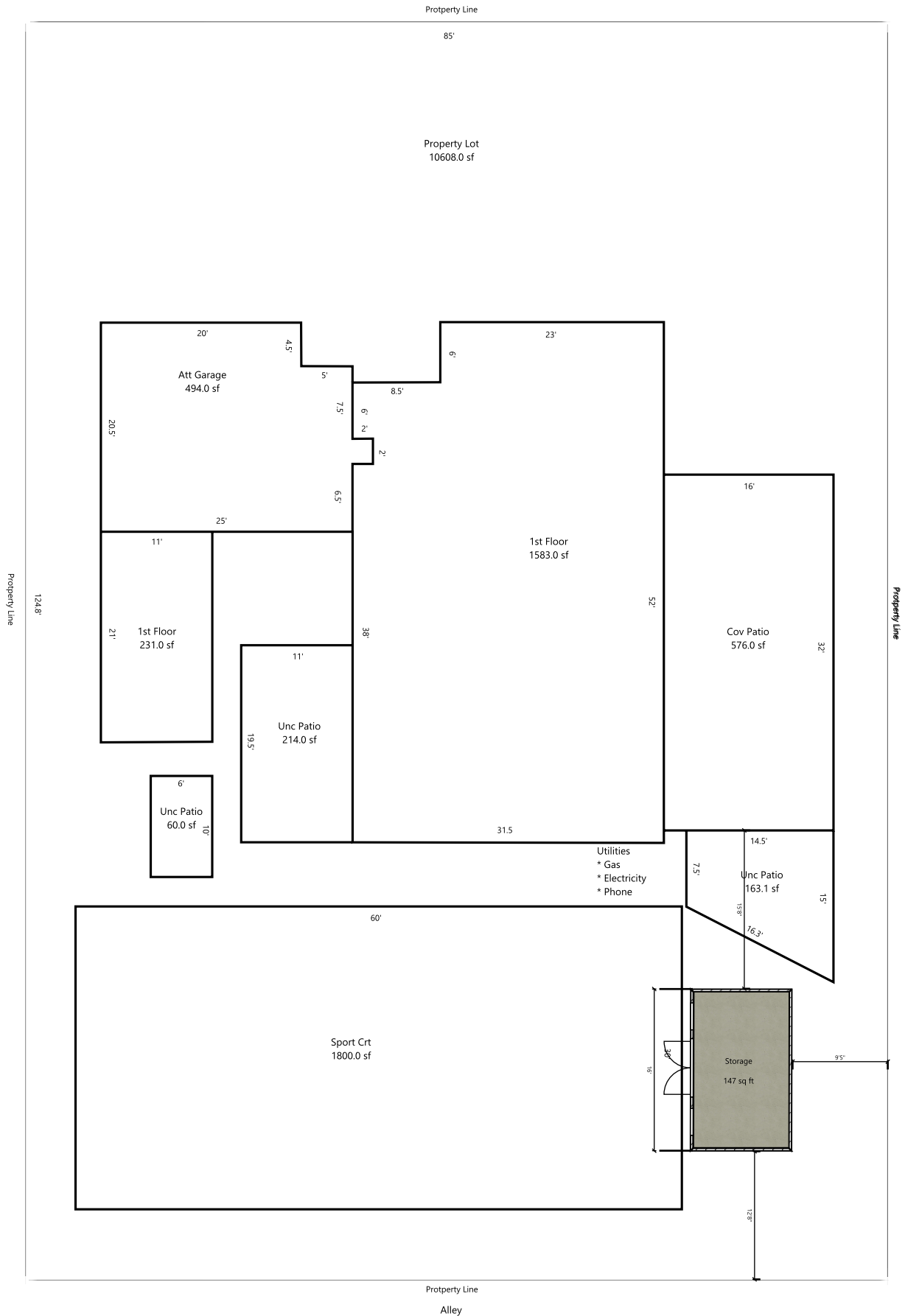
APN 501-65-198

502 E Wigwam Blvd.,

Litchfield Park 85340

# Storage Plan Option 1 - West Yard

Wigwam Blvd



NO.	DATE	DESCRIPTION	BY	DATE	PROJECT	TITLE
1		Initial Submission		25-Sep-2022	Storage Unit Addition - West Option	Martinez Storage Addition
2			Eren Martinez	25-Sep-2022		
3			Eren Martinez	29-Sep-2022		001.2025.v1.r1
4			Martinez Trust			502 E Wigwam Blvd. Litchfield Park, AZ 85340
Re					APPROVAL:	Book: 99, Page: 42
V						Sub: LP No. 7, LOT: 194 APN501-65-198

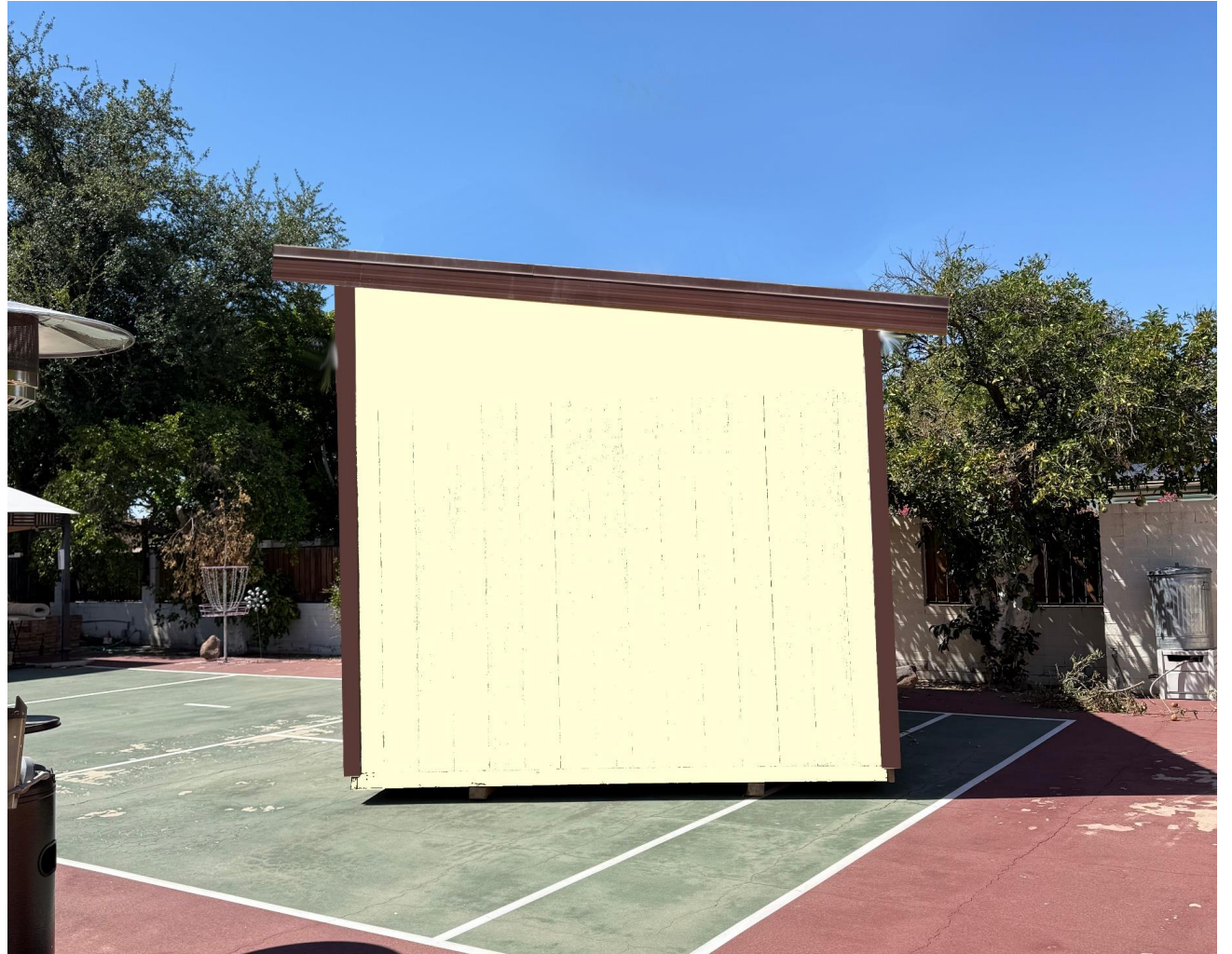
# Proposed Colors

Here is the front view with the proposed colors and redesigned roof.



## Side view with new

Here is how the side will look with the new roof design. This will drop the height to just under 10 Feet.



# West Yard Option Location Court View (East)

This a location on the West side of the sport court, where the Storage Unit can be migrated to (West Yard Option). It will have Grand Oak hovering over it.



# West Yard Option Location From Grand Oak View (North)

This a location on the West side of the sport court, where the Storage Unit can be migrated to (West Yard Option). Point of view for Grand Oak.



# West Yard Option Location To Grand Oak (South)

This a location on the West side of the sport court, where the Storage Unit can be migrated to (West Yard Option). Point of view looking at Grand Oak.





**DESIGN REVIEW BOARD  
COMMUNICATION**

Business Item V.B  
Approval of Arizona Room  
Conversion

**To:** Design Review Board Members  
**From:** Randy Proch, Planning Director  
**Meeting Date:** 10/2/2025

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**RECOMMENDED MOTION:**

**MOVE TO APPROVE THE PROPOSED ARIZONA ROOM CONVERSION, FILE NO. PZ-25-76, LOCATED AT 519 REDONDO DRIVE NORTH, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATION 1.**

**BACKGROUND/DISCUSSION:**

The proposal is to convert an Arizona Room to livable space along with associated site improvements. The property is located at 519 Redondo Drive North and zoned R1-15.

The applicant is proposing to change the existing Arizona Room to livable space in the rear yard of the home, along with updating the concrete shingle roof back to asphalt shingles to reduce the dead load, and replace the existing chain link fence with concrete block, unfinished to match the adjacent homes along the rear alley, to also include a gate for vehicular entry. The proposed conversion will utilize matching siding material found in the front of the home as the facade is a mix of materials. The updated shingles will create a classic feel consistent with the surrounding homes. The updated wall request will require DRB approval to not include stucco and paint. The gate can be permissible, but no RV storage is permitted.

Staff has not received any public comments on this proposal.

**STAFF RECOMMENDATION:**

Staff requests that the Design Review Board take the following action:

Approve the proposal, subject to the exhibits provided by the applicant, and stipulation 1:

1. A Building Permit issued by the City will be required before any construction is to occur.

**FINANCIAL IMPACT:**

N/A

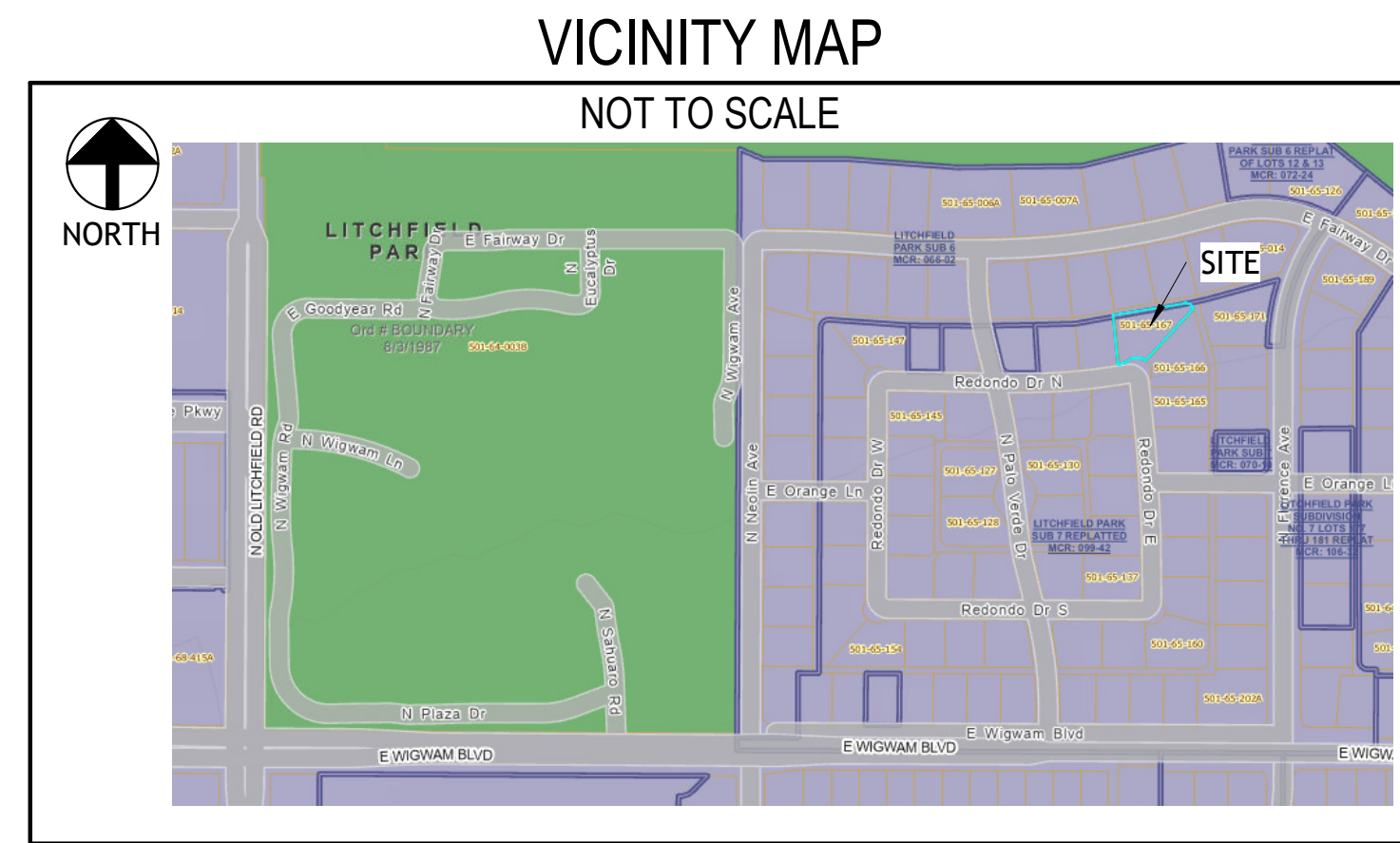
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**ATTACHMENTS:**

1. PZ-25-76 Report Attachments



# REDONDO REMODEL & FENCE PLAN



REVISIONS	
#	Revision Date

APN	501-65-167
SUB. DIV.	LITCHFIELD PARK SUB 7 REPLATTED
LOT #	163
DATE	9/5/2025 12:04:44 PM

**EHDR2 LLC**  
519 REDONDO DR N  
LITCHFIELD PARK, AZ 85340

SITE PLAN

**S1**  
SCALE  
As indicated



### LOT INFORMATION

**LEGAL DESCRIPTION**  
LOT 163, LITCHFIELD PARK SUBDIVISION NO. 7, REPLATTED, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 99 OF MAPS, PG. 42

PARCEL #	MCR	LOT SIZE
501-65-167	99-42	18,707 SQFT

AREA	AREA
EXIST. LIVABLE:	2,344 SQFT
EXIST. COVERED PORCH:	110 SQFT
EXIST. GARAGE:	458 SQFT
ADDITIONAL LIVING ADDED:	333 SQFT
TOTAL UNDER ROOF:	3,245 SQFT
TOTAL AREA TO BE REMODELED:	1,054 SQFT

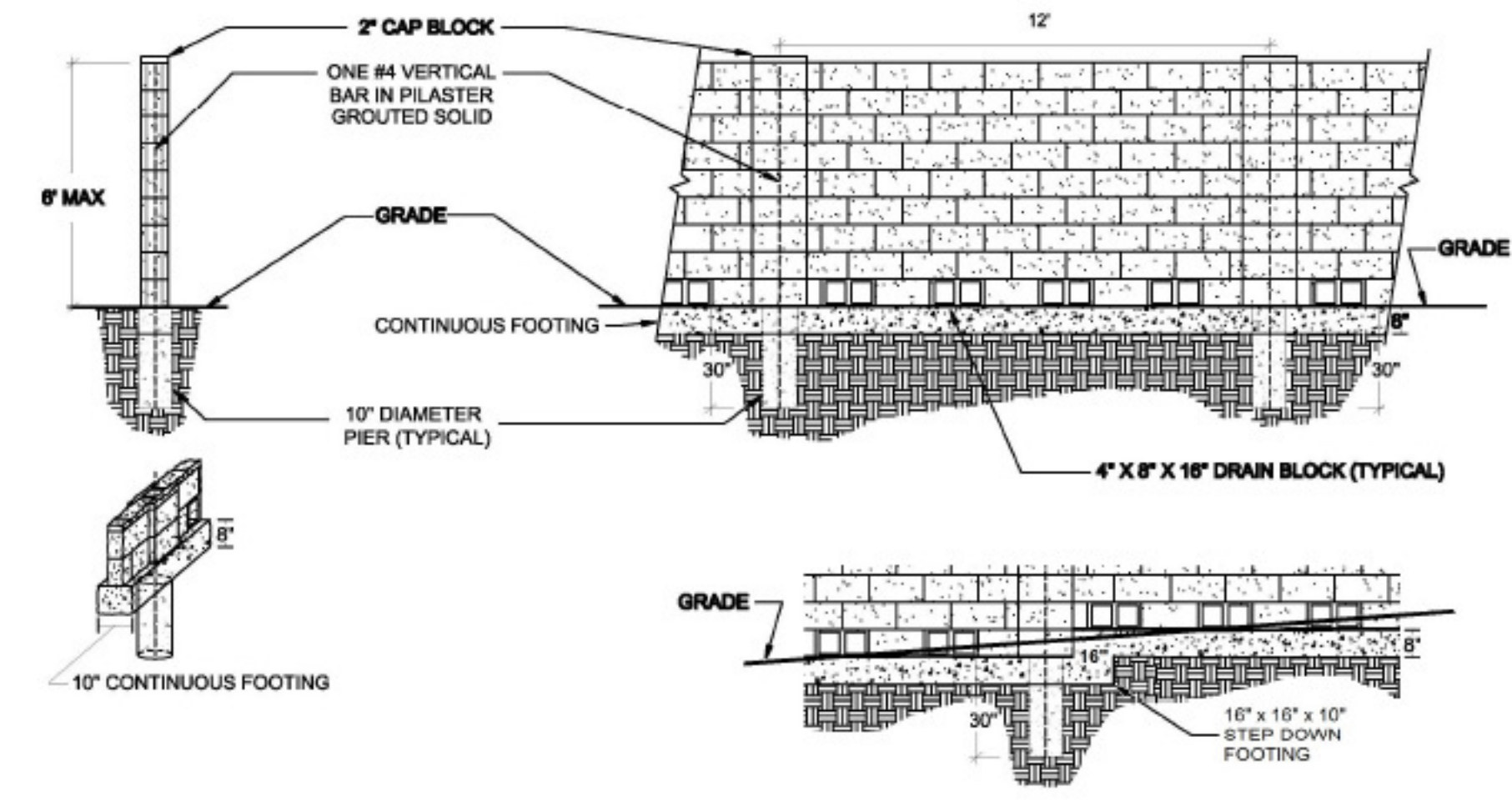
LOT COVERAGE	AREA
TOTAL LIVABLE:	2,677 SQFT
TOTAL NON LIVABLE:	568 SQFT
EXIST. SHADE STRUCTURE:	120 SQFT
TOTAL UNDER ROOF:	3,365 SQFT

LAND: 3,365 SQFT / 18,707 SQFT = 17.98%

### NEW FENCING

NEW 4" WIDE x 6" HIGH GREY CMU BLOCK WALL ALONG THE NORTH PROPERTY LINE INCLUDING THE NORTHEAST CORNER. A 12' GATE WILL BE PLACED IN THE CORNER AS WELL.  
LINEAR FOOTAGE OF NEW 6" CMU BRICK WALL: 204 LF

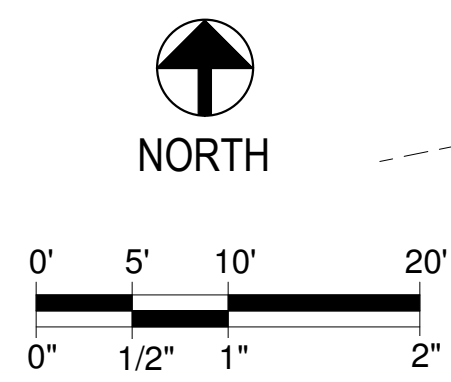
### 4"x8"x16" CMU BLOCK WALL N.T.S.



**NOTES:**  
ALL CELLS CONTAINING REBAR SHALL BE GROUTED SOLID  
GRADE DIFFERENTIAL SHALL BE NO GREATER THAN ONE COURSE  
EVERY OTHER BLOCK TURNED AT BASE COURSE. NO DECORATIVE BLOCK ALLOWED.  
THIS FENCE DETAIL IS NOT INTENDED FOR USE IN SUN CITY OR ANY OTHER MASTER-PLANNED COMMUNITY  
A PILASTER SHALL BE PLACED WHEREVER THE FOOTING STEPS DOWN

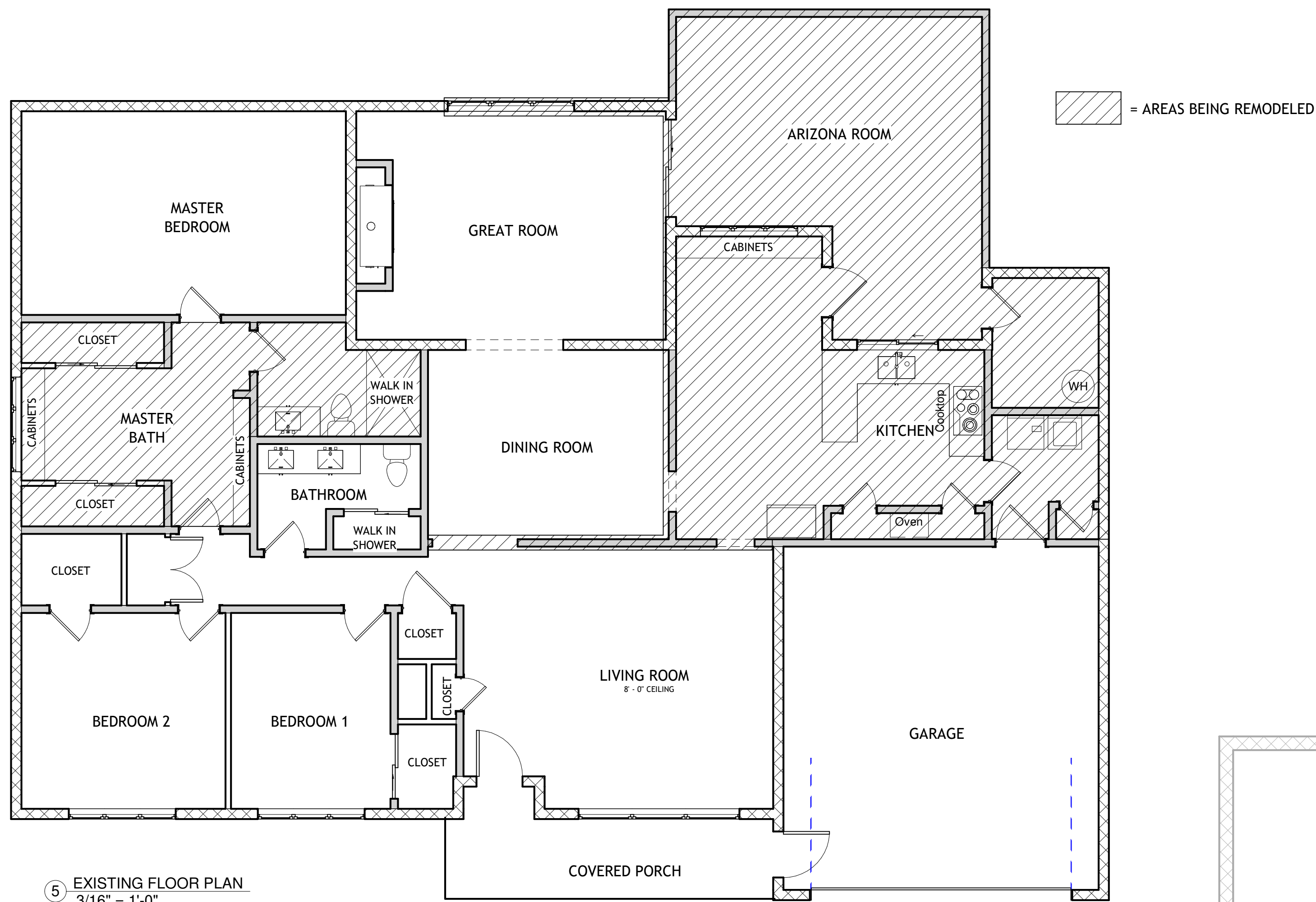


NEW 12' GATE SAMPLE.  
\*GATE COLOR WILL COORDINATE WITH THE GREY BLOCK WALL



1 SITE PLAN  
1" = 10'-0"





5 EXISTING FLOOR PLAN  
3/16" = 1'-0"

**FLOOR PLAN INFORMATION**

- UNLESS NOTED, DIMENSIONS ON THE ARCHITECTURAL SHEETS SHALL BE CONSIDERED ROUGH (NOT FINISHED) AND ACTUAL. TYPICAL WALLS GO AS FOLLOWS.  
EXTERIOR WALLS: 2X6 STUD @ 16" O.C. UNLESS NOTED OTHERWISE  
INTERIOR WALLS: 2X4 STUD @ 24" O.C. (WHEN NON-LOAD BEARING)  
DOORS AND WINDOWS ARE NOTED IN FEET-INCHES. EX: 2268 = 2' 2" X 6' 8"
- INSULATION:  
ATTIC SPACE - SPRAY FOAM (MIN. R-38 CEILINGS)  
WALLS - SPRAY FOAM (MIN. R-13)
- ALL EXITS TO BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE.
- ALL GYPSUM BOARD TO BE 1/2" SAG-RESISTANT THROUGHOUT LIVABLE AREA.
- ALL WALLS IN SHOWER & TUB AREAS SHALL BE FINISH FIBER-CEMENT BACKER BD. AND CERAMIC TILE (OR EQUIVALENT) TO A MIN. HEIGHT OF 72" ABOVE DRAIN.
- SHOWER HEADS TO BE LOCATED AT 78" AFTER FINISHED FLOOR. SHOWER CONTROL VALVES LOCATED AT 42" AFTER FINISHED FLOOR.
- SHOWER AND SHOWER-TUB COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.
- A SMOKE DETECTOR SHALL BE PROVIDED FOR ALL SLEEPING AREAS AT A MIN. DISTANCE OF THREE FEET FROM ALL DUCT OPENINGS AND AT THE HIGHEST POINT OF THE CEILING.
- SMOKE DETECTORS SHALL BE PERMANENTLY WIRED AND INTERCONNECTED WITH A BATTERY BACKUP. AN ADDITIONAL SMOKE DETECTOR SHALL BE CENTRALLY LOCATED IN THE HALLWAY OR AREA GAINING ACCESS TO EACH SEPARATE SLEEPING AREA.
- A CARBON MONOXIDE DETECTOR SHALL BE CENTRALLY LOCATED IN THE HALLWAY OF AREA GAINING ACCESS TO EACH SEPARATE SLEEPING AREA AS WELL AS THE MAIN LIVING SPACE.
- GLAZING WITHIN HAZARDOUS LOCATIONS SHALL BE SAFETY GLASS. EX: ALL GLAZING IN INGRESS AND EGRESS DOORS. ALL GLAZING ADJACENT TO DOORS WITHIN A 24" ARC OF THE DOORS.
- ALL WINDOWS SHALL BE PROVIDED WITH LOCKING DEVICES THAT WILL PROHIBIT RAISING AND REMOVING THE SLIDING PANEL WHILE IN CLOSED POSITION AND SHALL HAVE LOCKING DEVICES THAT SHALL NOT USE A KEY.
- BEDROOM EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPENABLE AREA OF 5.7 SQFT. THESE WINDOWS SHALL HAVE A MIN. HEIGHT OF 24" AND A MIN. WIDTH OF 20", THE SILL HEIGHT SHALL NOT BE HIGHER THAN 44" AT FINISHED FLOOR.
- DIMENSIONS TAKE PRECEDENCE OVER SCALE ON ALL DRAWINGS.
- ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- ALL LUMBER SHALL BEAR A GRADING STAMP FROM APPROVED GRADING AGENCY.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CURRENT EDITION OF THE INTERNATIONAL RESIDENTIAL CODE AND ALL OTHER STATE AND/OR LOCAL CODES AND ORDINANCES THAT MAY APPLY.
- CONTRACTOR TO VERIFY EXISTING FIELD CONDITIONS AND IS RESPONSIBLE FOR BEING FAMILIAR WITH EXTENT OF THE WORK.
- IF THE CONTRACTOR SHOULD FIND ANY DISCREPANCIES IN AND/OR OMISSIONS FROM THESE DRAWINGS OR BE IN QUESTION AS TO THEIR MEANING OR INTENT, THEY SHALL NOTIFY THE DESIGNER FOR CLARIFICATION.
- THE CLOTHES DRYER EXHAUST FAN SHALL BE AT LEAST THE DIAMETER OF THE APPLIANCE OUTLET AND SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING. IT SHALL NOT EXCEED 35'-0" IN DEVELOPED LENGTH AND SHALL BE REDUCED IN LENGTH BY 5'-0" FOR EACH 90-DEGREE ELBOW AND 2'-6" FOR EACH BEND.
- ALL REQUIRED APPLIANCES AND EQUIPMENT SHALL HAVE I.C.C./U.L. NUMBER AND MANUFACTURER'S SPECIFICATION SHEETS PROVIDED TO OWNER IF APPLICABLE.
- PROVIDE PROPER WORKING CLEARANCES FOR ALL ELECTRICAL DISCONNECTS OF 36" IN FRONT OF: 30" WIDE; 6'0" HIGH OR THE HEIGHT OF THE EQUIPMENT. WHICHEVER IS THE MOST.

**REVISIONS**

#	Revision Date
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501-65-167  
LITCHFIELD PARK SUB 7 REPLATTED  
163  
9/4/2025 12:29:32 PM

**LIGHT AND VENTILATION REQUIREMENTS:**

HABITABLE ROOM	ROOM SQFT	LIGHT		VENTILATION	
		REQUIRED SQFT AREA 8%	SQFT PROVIDED	REQUIRED SQFT AREA 4%	SQFT PROVIDED
BEDROOM #1	N/A				
BEDROOM #2	N/A				
BEDROOM #3	309	24.72	60	12.36	30
KITCHEN LIVING ROOM GREAT ROOM	950	76	100	38	50

**GENERAL INFORMATION**

THIS HOUSE WAS DESIGNED IN ACCORDANCE WITH THE:  
2018 INTERNATIONAL BUILDING CODE (IBC) W/ CITY AMENDMENTS  
2018 INTERNATIONAL RESIDENTIAL CODE (IRC) W/ CITY AMENDMENTS  
2018 INTERNATIONAL PLUMBING CODE (IPC) W/ CITY AMENDMENTS  
2018 INTERNATIONAL MECHANICAL CODE (IMC) W/ CITY AMENDMENTS  
2018 INTERNATIONAL FUEL GAS CODE (IFGC) W/ CITY AMENDMENTS  
2017 NATIONAL ELECTRIC CODE (NEC) W/ CITY AMENDMENTS  
2018 INTERNATIONAL FIRE CODE (IFC) W/ CITY AMENDMENTS  
2010 ADA GUIDELINES FOR ACCESSIBLE DESIGN

DESIGN LOADS:  
ROOF: 24 P.S.F. DEAD LOAD  
20 P.S.F. LIVE LOAD  
SNOW: -----0 LBS  
WIND SPEED: ---90 MPH  
EXPOSURE: -----B  
SEISMIC: -----B

WHEN A SPECIFIC MATERIAL/PRODUCT IS LISTED, IT SHOULD BE INSTALLED/APPLIED BY AN APPROVED CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE WORK IS DONE ACCORDING TO CODE.

DETAILS OF THE STRUCTURAL DRAWINGS ARE TYPICAL. NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.

THESE DRAWINGS ARE NOT TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT WRITTEN PERMISSION AND CONSENT OF COPPER STAR DRAFTING. COPPER STAR DRAFTING HAS NO LIABILITY WHATSOEVER AFTER PLANS HAVE BEEN REVIEWED AND ACCEPTED BY THE CLIENT. ALL CODE REQUIREMENTS AND BEAM SIZES ARE TO BE VERIFIED BY THE GENERAL CONTRACTOR. IT IS ALWAYS SUGGESTED THAT ALL PLANS SHOULD BE REVIEWED BY A LICENSED ENGINEER PRIOR TO CONSTRUCTION.

**SHEET INDEX**

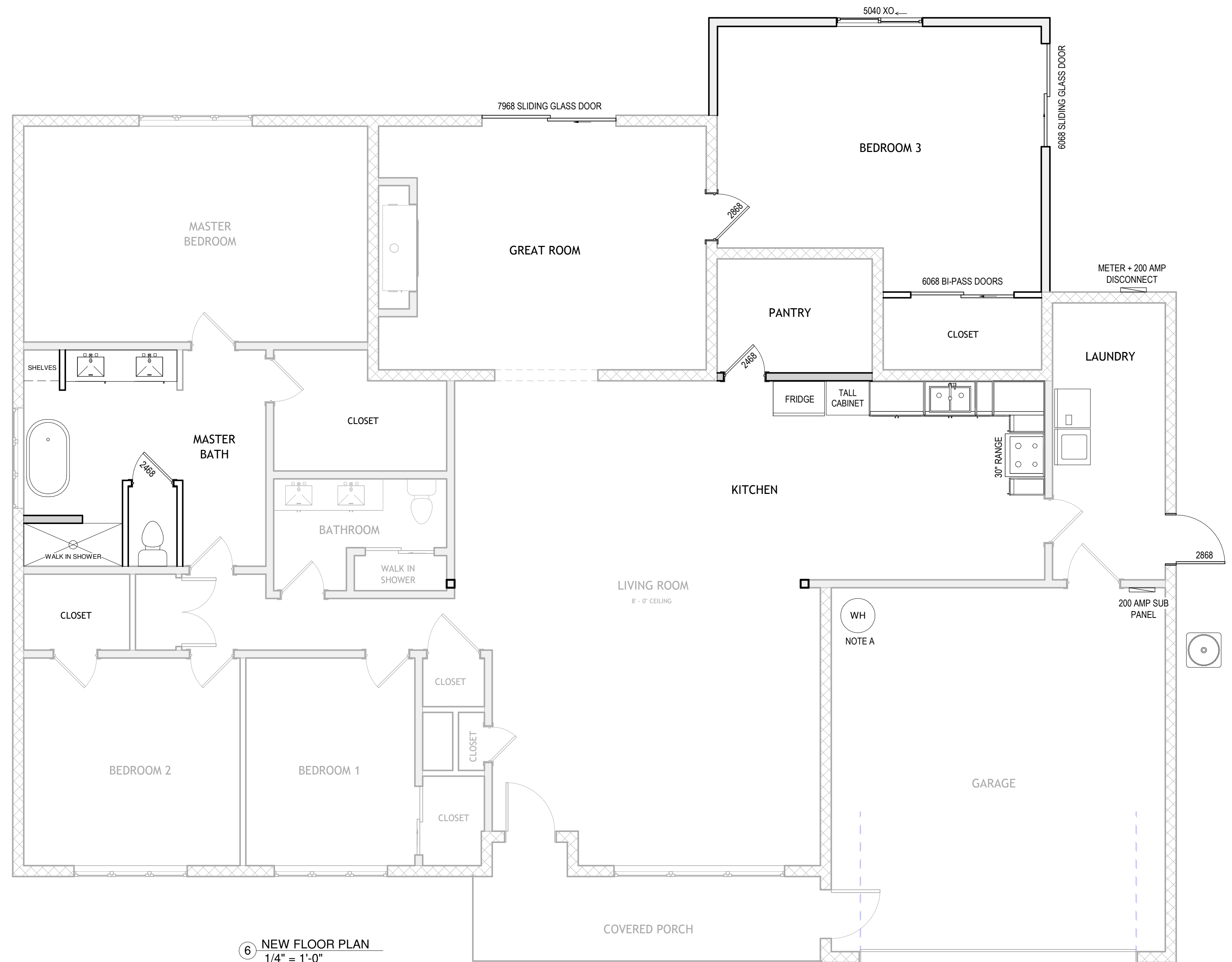
- A1 - FLOOR PLAN
- A2 - DIMENSIONED FLOOR PLAN
- A3 - EXTERIOR ELEVATIONS
- E1 - ELECTRICAL PLAN
- F1 - FOUNDATION PLAN
- M1 - MECHANICAL/HVAC PLAN
- P1 - PLUMBING PLAN  
WASTE & VENT PLAN
- R1 - ROOFING PLAN

**NOTES**

NOTE A: PROVIDE A 24" HIGH ELEVATED PLATFORM.

WATER HEATER IGNITION SOURCE SHALL BE ELEVATED NOT LESS THAN 18 INCHES ABOVE THE FLOOR, A WATERTIGHT DRAIN PAN OF CORROSION RESISTANT MATERIAL SHALL BE INSTALLED BENEATH THE WATER HEATER WITH A MIN. 3/4" DIA. DRAIN, AND THE PAN DRAIN SHALL EXTEND TO AN OUTSIDE LOCATION TERMINATED A MIN. OF 6" & MAX. OF 12" ABOVE FINISHED GRADE POINTING DOWN.

PROVIDE TEMPERATURE & PRESSURE RELIEF LINE AT WATER HEATER (IRC SECTION P2803.6.1), TERMINATE LINE TO EXTERIOR NOT LESS THAN 6" ABOVE GRADE AND NOT MORE THAN 12" ABOVE GRADE.



6 NEW FLOOR PLAN  
1/4" = 1'-0"

APN  
SUB. DIV.  
LOT #  
DATE

EHR2 LLC  
519 REDONDO DR N  
LITCHFIELD PARK, AZ 85340

**FLOOR PLAN**

**A1**  
SCALE  
As indicated

REVISIONS	
#	Revision Date

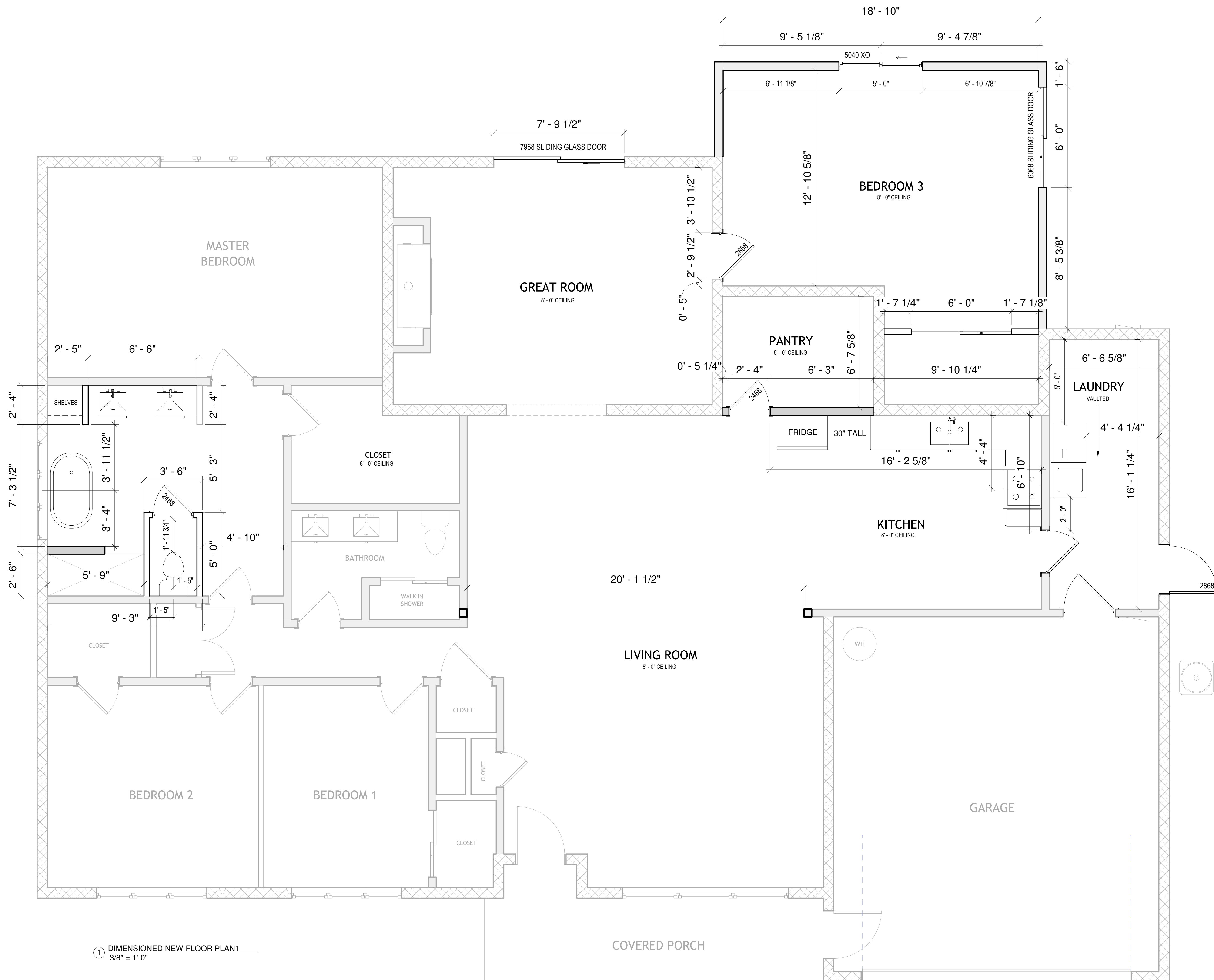
APN	501-65-167
SUB. DIV.	LITCHFIELD PARK SUB 7 REPLATTED
LOT #	163
DATE	9/4/2025 12:29:33 PM

**EHDR2 LLC**  
 519 REDONDO DR N  
 LITCHFIELD PARK, AZ 85340

**DIMENSIONED FLOOR PLAN**

**A2**

SCALE  
 3/8" = 1'-0"

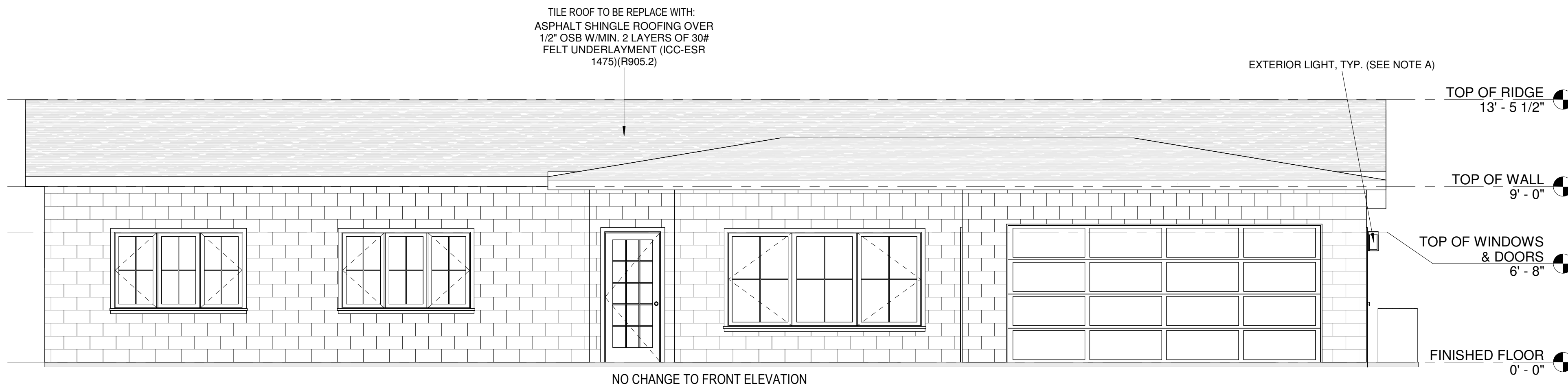


① DIMENSIONED NEW FLOOR PLAN1  
 3/8" = 1'-0"

**EXTERIOR NOTES**

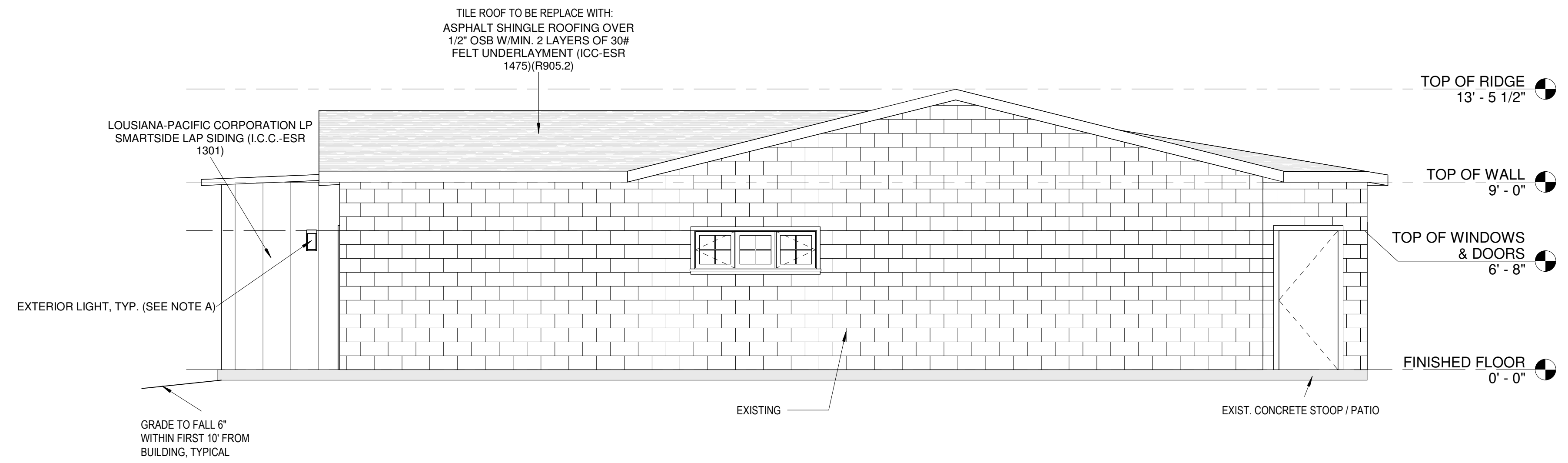
1. ASPHALTIC SHINGLE / METAL ROOF OVER 30# ROOFING FELT OVER 1/2" A.P.A. RATED SHEATHING. (R905.2)
2. SEE ROOF FRAMING FOR BEAM TYPE
3. APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING'S STRUCTURAL FRAMING COMPONENTS. TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS TO BE LEAK PROOF. AT INTERSECTION OF CHIMNEY OR OTHER MASONARY CONSTRUCTION WITH FRAMED OR STUCCO WALLS, AT WALL AND ROOF INTERSECTIONS AND AT BUILT IN GUTTERS (R703.8).
4. ALL PRODUCTS LISTED BY I.C.C. NUMBER(S) SHALL BE INSTALLED PER THE REPORT AND MANUFACTURERS WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTIONS AND PRODUCTS LISTED SHALL ALSO HAVE I.C.C. APPROVED EVALUATION REPORT(S) OR BE APPROVED AND LISTED BY OTHER NATIONALLY RECOGNIZED TESTING AGENCIES. NOTE: NOT ALL PRODUCTS LISTED WILL BE USED ON THIS STRUCTURE.  
  
I.C.C. ESR-1475 GAF ASPHALT ROOFING SHINGLES WITH ASTM D26 TYPE 1 UNDERLAYMENT  
I.C.C. ESR-1301 LOUISIANA-PACIFIC CORPORATION LP SMARTSIDE LAP SIDING AND SMARTSIDE PANEL SIDING

**NOTE A:** ALL EXTERIOR LIGHTING SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF MCZO 1112 INCLUDING 1112.4.1 AND 1112.4.2 (SHIELDING & FILTRATION)  
  
ALL EXTERIOR LIGHT FIXTURES ON THIS PROJECT WILL MEET THESE SPECIFICATIONS WITH INCANDESCENT BULBS LOWER THAN 150 WATTS OR EQUIVALENT LED BULBS.



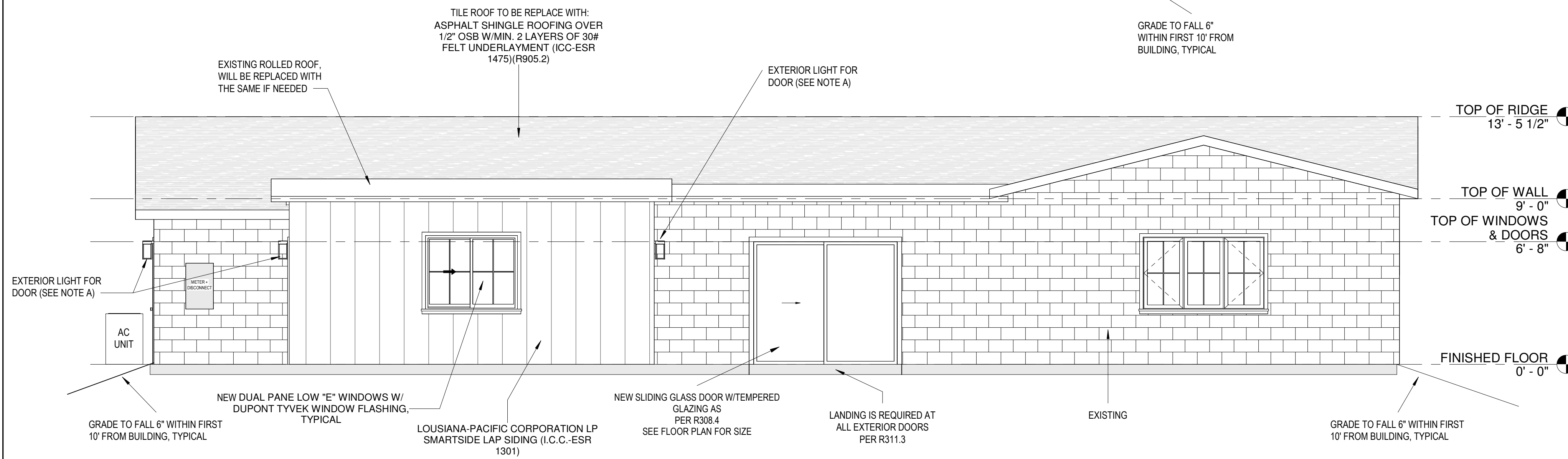
**NORTH / FRONT**

SCALE 1/4" = 1' - 0"



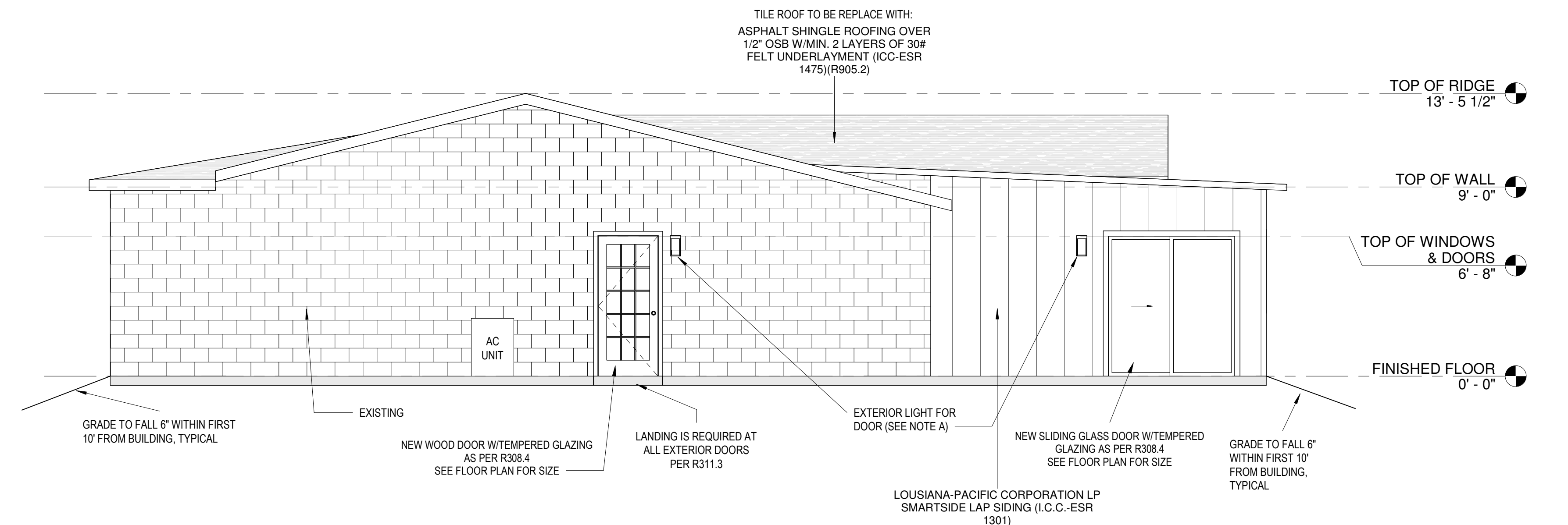
**EAST / LEFT SIDE**

SCALE 1/4" = 1' - 0"



**SOUTH / REAR**

SCALE 1/4" = 1' - 0"



**WEST / RIGHT SIDE**

SCALE 1/4" = 1' - 0"

**REVISIONS**

#	Revision Date
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501-65-167	LITCHFIELD PARK SUB 7 REPLATTED	163	9/4/2025 12:29:33 PM
APN	SUB. DIV.	LOT #	DATE

**EHR2 LLC**  
519 REDONDO DR N  
LITCHFIELD PARK, AZ 85340

**EXTERIOR ELEVATIONS**

**A3**

SCALE  
1/4" = 1'-0"



**DESIGN REVIEW BOARD  
COMMUNICATION**

Business Item V.C  
Approval of New Pergolas

**To:** Design Review Board Members  
**From:** Randy Proch, Planning Director  
**Meeting Date:** 10/2/2025

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**RECOMMENDED MOTION:**

**MOVE TO APPROVE THE PROPOSED PERGOLAS, FILE NO. PZ-25-78, LOCATED AT 211 BAHIA LANE EAST, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATION 1.**

**BACKGROUND/DISCUSSION:**

The proposal is add a front yard attached pergola and patio area pergola onto an existing home. The property is located at 211 Bahia Lane East and zoned RC-PD.

The proposed front yard pergola would be attached to the home and create a porch space at the front door. The second location is adjacent to the side property line and would create dappled shade on the south side of the home. The homes in this area already contain 1-hour fire walls and the proposed structure is fire-resistant. The color would be dark brown to match the trim of the home.

Staff has not received any public comments on this proposal.

**STAFF RECOMMENDATION:**

Staff requests that the Design Review Board take the following action:

Approve the proposal, subject to the exhibits provided by the applicant, and stipulation 1.:

1. A Building Permit issued by the City will be required before any construction is to occur.

**FINANCIAL IMPACT:**

N/A

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**ATTACHMENTS:**

1. PZ-25-78 Report Attachments

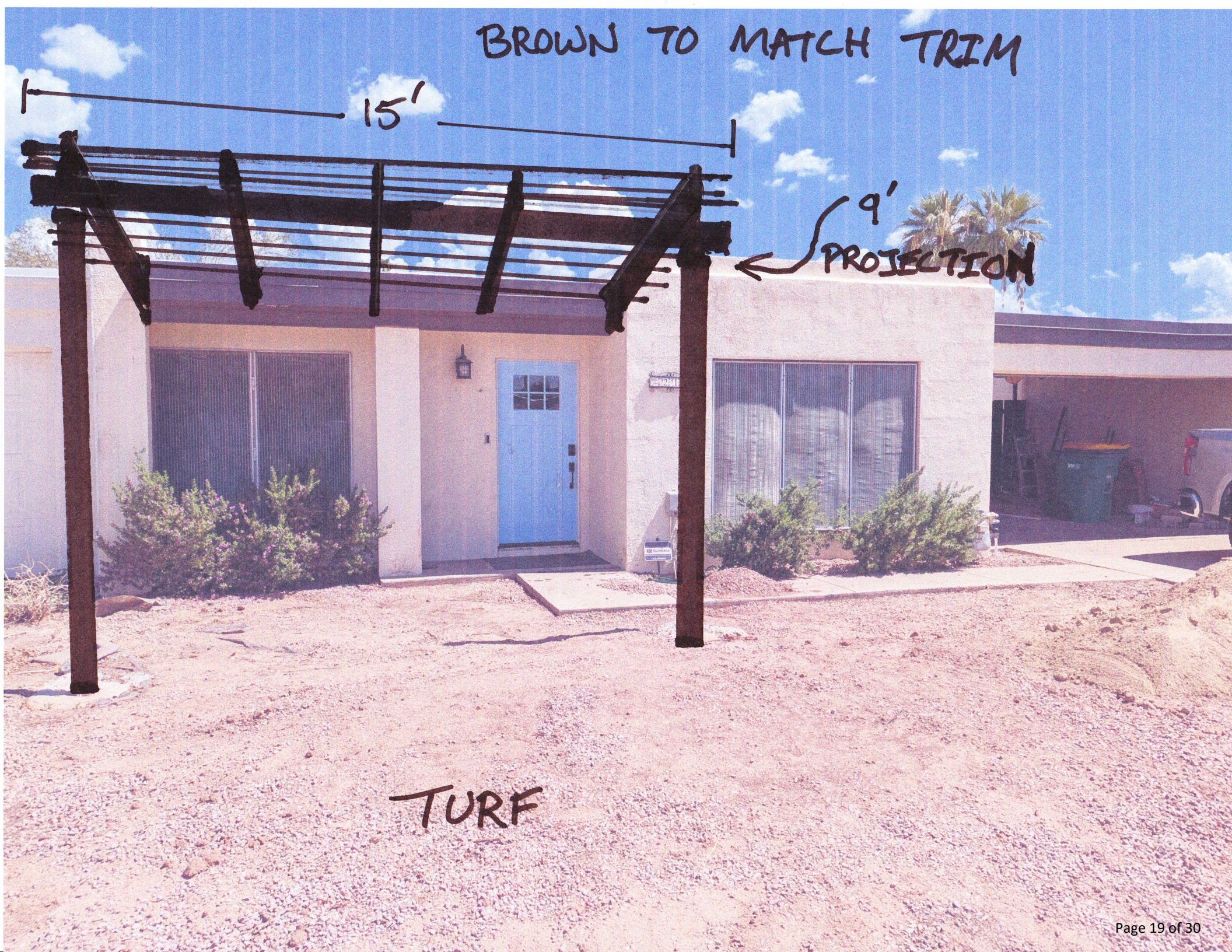


BROWN TO MATCH TRIM

15'

9'  
PROJECTION

TURF







**DESIGN REVIEW BOARD  
COMMUNICATION**

Business Item V.D  
Approval of New Pergola

**To:** Design Review Board Members  
**From:** Randy Proch, Planning Director  
**Meeting Date:** 10/2/2025

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**RECOMMENDED MOTION:**

**MOVE TO APPROVE THE PROPOSED PERGOLA, FILE NO. PZ-25-79, LOCATED AT 390 E. CAMPINA DRIVE, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATIONS 1. AND 2.**

**BACKGROUND/DISCUSSION:**

The proposal is to build a 450 square foot cantilevered pergola in the rear yard. The property is located at 390 E. Campina Drive and is zoned R1.

The applicant is proposing a large pergola in the rear yard against Camelback Road. The pergola will cover an existing improved space. The property is burdened by a public utility easement requiring an 8' separation from the rear yard. This will require a 2' adjustment back towards the home. The proposed size and location has room to make the adjustment. The pergola will compliment the home's architecture.

Staff has not received any public comments on this proposal.

**STAFF RECOMMENDATION:**

Approve the proposal, subject to the exhibits provided by the applicant, and stipulations 1. and 2.:

1. A Building Permit issued by the City will be required before any construction is to occur.
2. Provide a minimum setback of at least 8 feet from the rear property line in order to accommodate the public utility easement.

**FINANCIAL IMPACT:**

N/A

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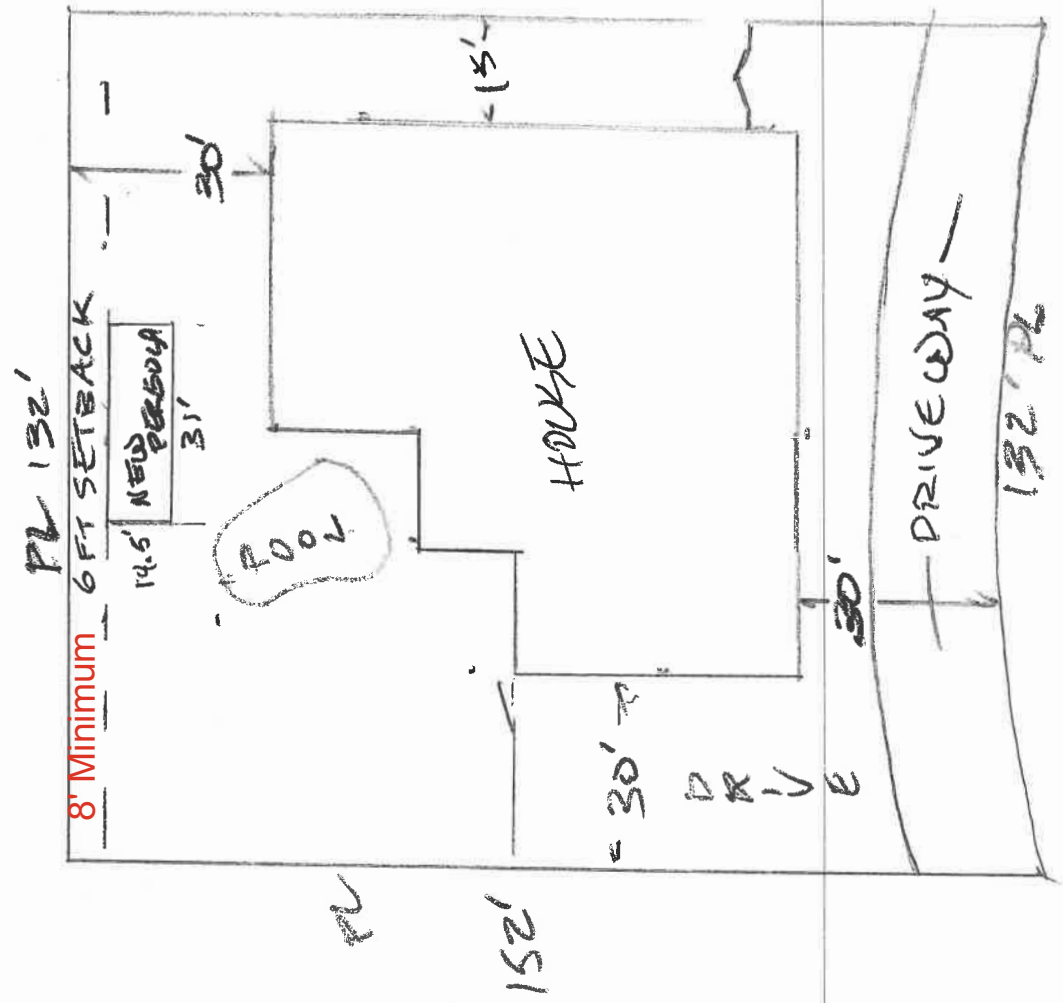
**ATTACHMENTS:**

1. PZ-25-79 Report Attachments

CAMELBACK RD.



SCALE  
1" = 30'



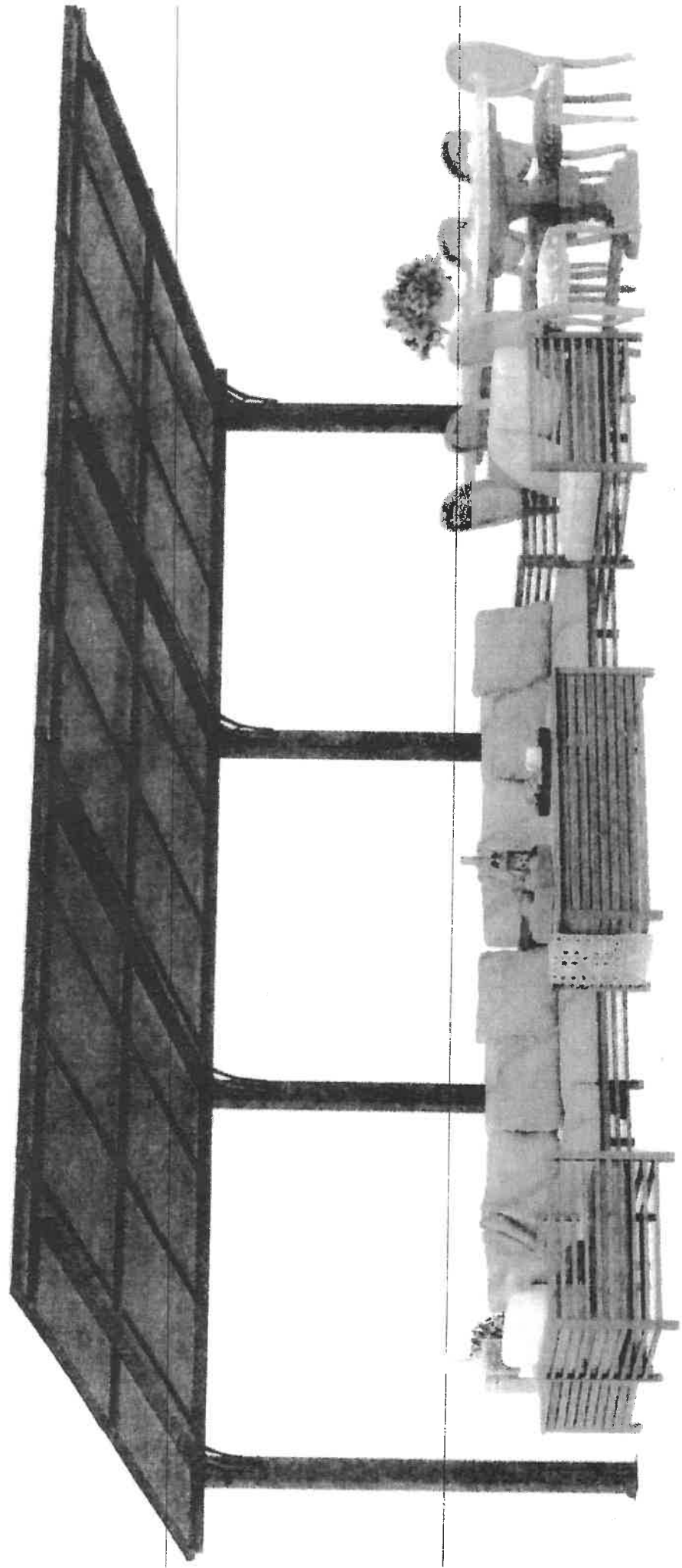
CAMPING DR.



VICE  
CAMPING DR.  
IN

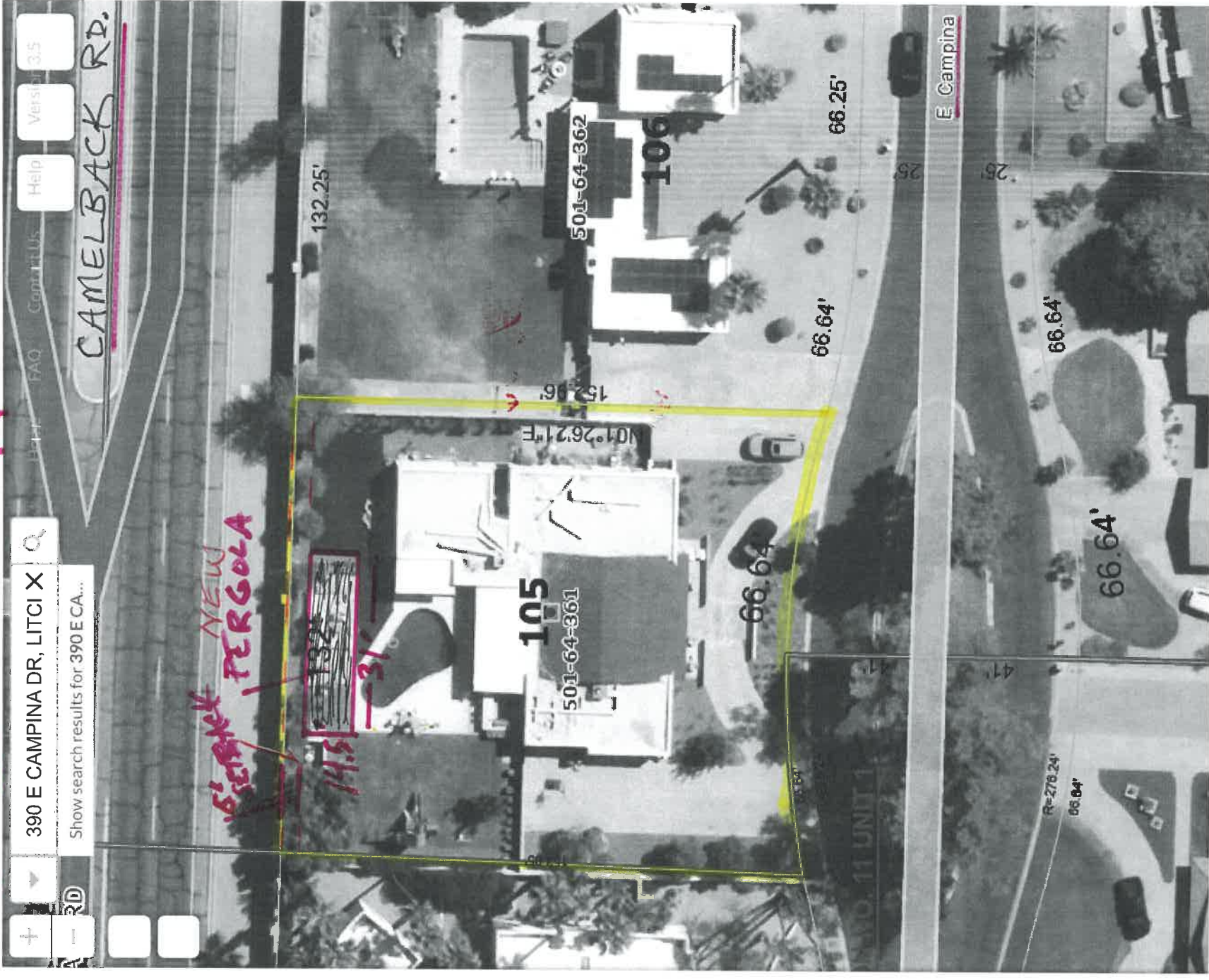
NEAL KTSILENCE MS&B  
390 E. CAMPINADR. NEW PERGOLA

RENDERINGS



NEAL RESIDENCE  
NEW 14.5x31'  
PERGOLA

NEAL RESIDENCE  
NEW 14.5x31'  
PERGOLA



40ft

112.351790, 33.502085 Degrees



**DESIGN REVIEW BOARD  
COMMUNICATION**

Business Item V.E  
**Approval of Backyard Pergola**

**To:** Design Review Board Members  
**From:** Randy Proch, Planning Director  
**Meeting Date:** 10/2/2025

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**RECOMMENDED MOTION:**

**MOVE TO APPROVE THE PROPOSED BACKYARD PERGOLA, FILE NO. PZ-25-80, LOCATED AT 310 W. CAMPBELL AVENUE, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATION 1.**

**BACKGROUND/DISCUSSION:**

The proposal is to build a freestanding pergola structure in the rear yard. The home is located at 310 W. Campbell Avenue and is zoned R1-15.

The applicant is requesting to build an approximately 350 square foot freestanding pergola in the rear yard made of a composite material. The structure will be held up by four posts at a slight slant to allow drainage to flow off. The architecture will blend with the home's design and the location was specifically chosen to be outside the bounds of the Public Utility Easement in along the rear property line and maintain the required 10' separation from the primary structure (the home).

Staff has not received any public comments on this proposal.

**STAFF RECOMMENDATION:**

Staff requests that Design Review Board take the following action:

Approve the proposal, subject to the exhibits provided by the applicant, and stipulation 1:

1. A Building Permit issued by the City will be required before any construction is to occur.

**FINANCIAL IMPACT:**

N/A

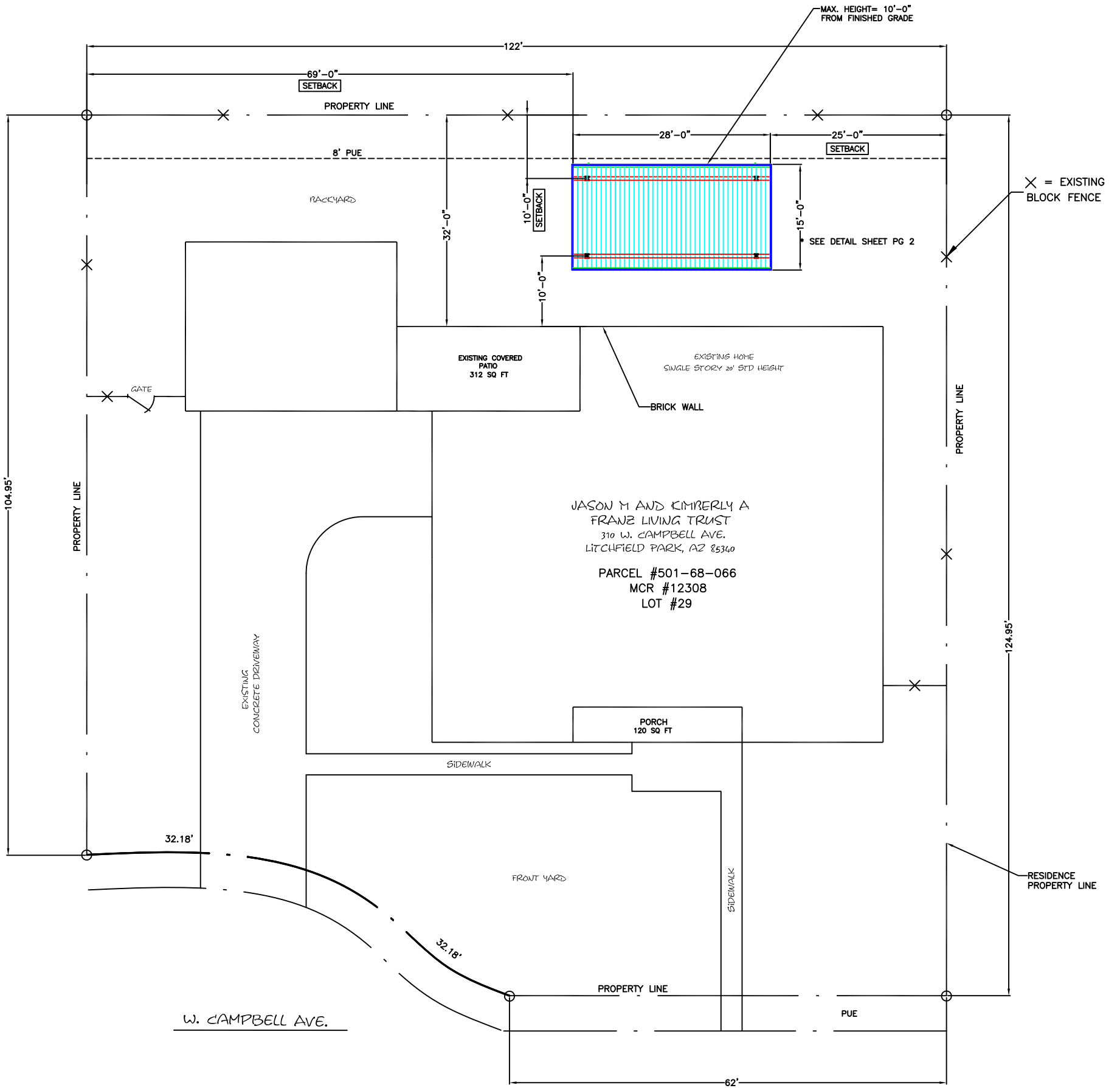
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**ATTACHMENTS:**

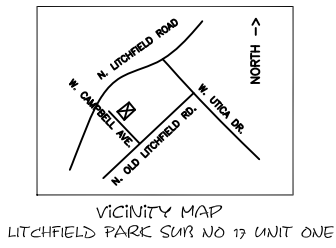
1. PZ-25-80 Planset

REV A

ALUMAWOOD PATIO COVER SITE PLAN



LOT & RESIDENCE COVERAGE	
OVERALL LOT SQ FT	14,387
LIVING SQ FT	2,963
UNDER ROOF SQ FT	4,556
NEW COVER SQ FT	420



By: Cool Pergola  
(623) 217-1404

PAGE 1 OF 2

SCALE = 1/8" = 1'-0"

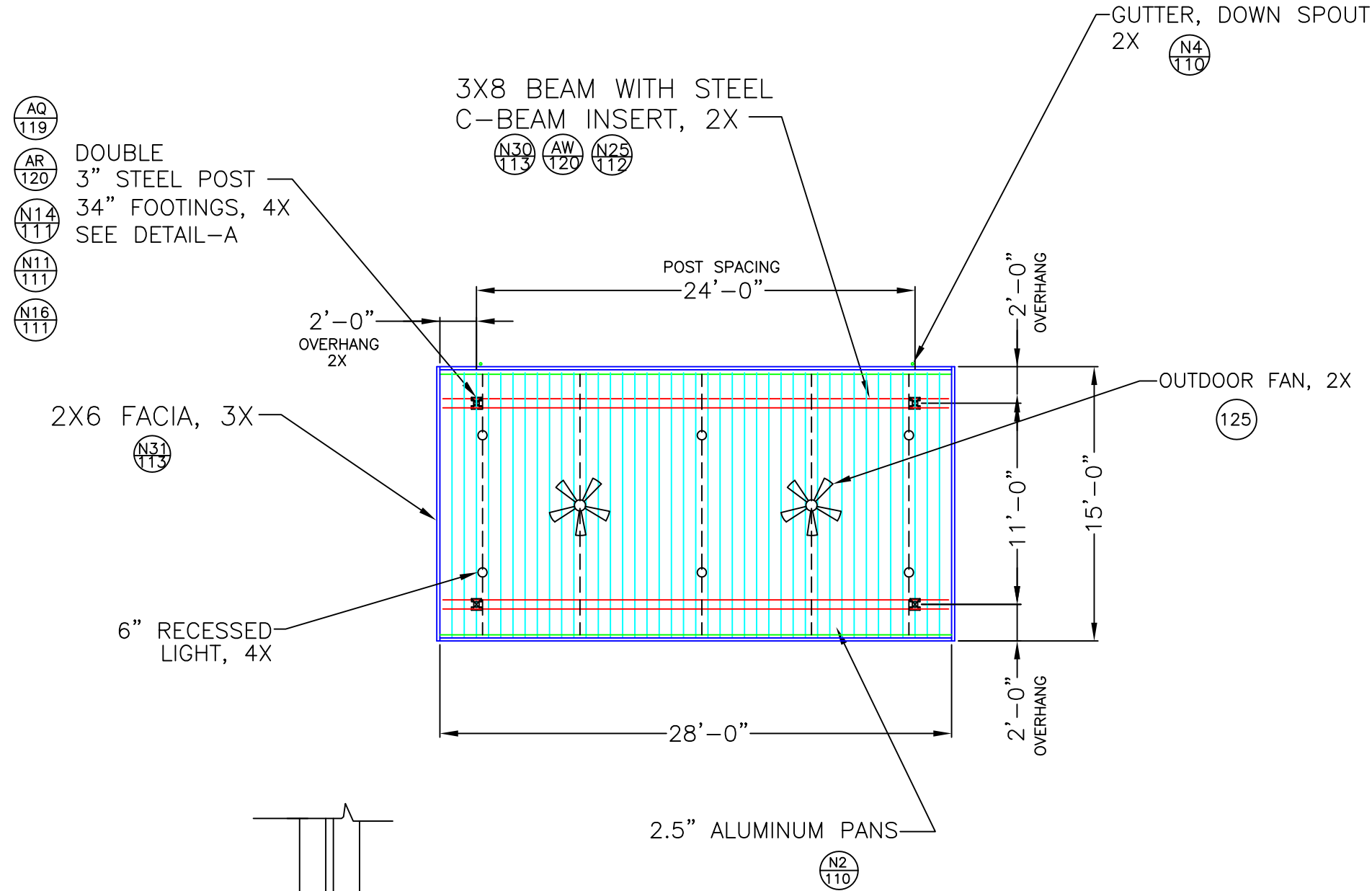
JASON M AND KIMBERLY A  
FRANZ LIVING TRUST  
310 W. CAMPBELL AVE.  
LITCHFIELD PARK, AZ 85340

PARCEL #501-68-066  
MCR #12308  
LOT #29

REV A

RED= 3X8 BEAM  
BLUE= 2X6 RAFTER  
CYAN= 2.5 ALUMINUM PANS  
GREEN= GUTTER

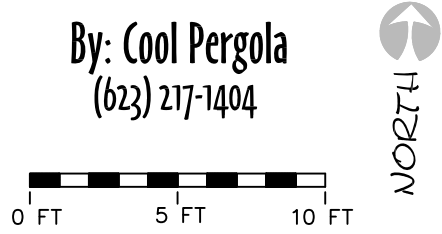
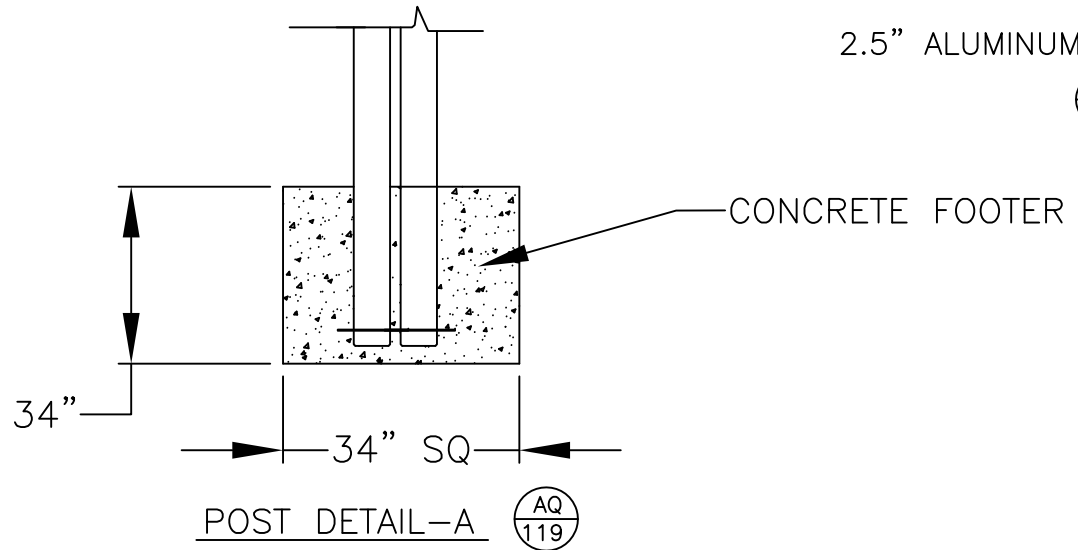
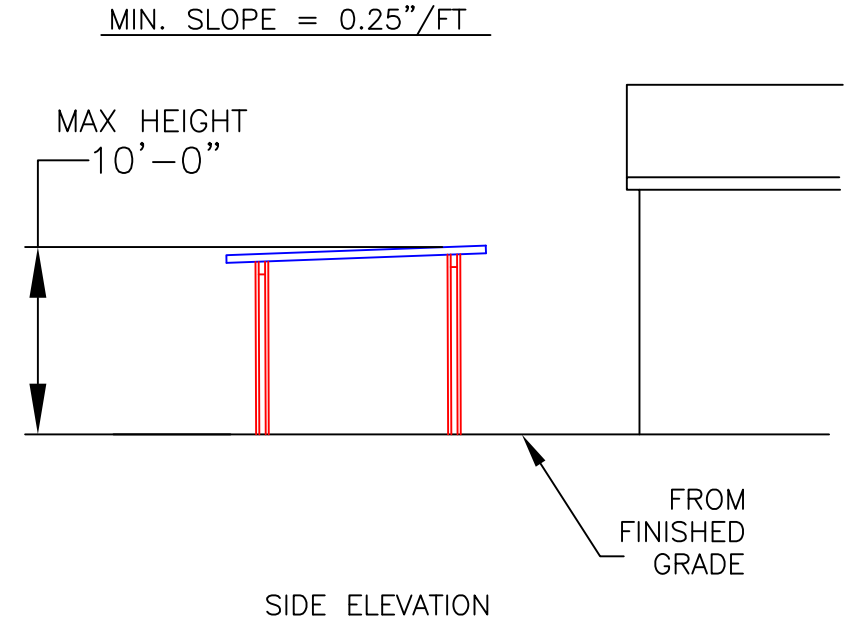
# DETAIL PLAN



ALUMINUM PATIO COVER

PROPOSED COVER – SOLID COVER  
(SEE ATTACHED SEALED ENGINEERING DWGS)

TYPE= STANDALONE  
COLOR= BLACK  
CEILING COLOR= DRIFTWOOD  
END CUTS = BEVELED  
POST SIZE= 3"X3" STEEL, 2 PER POST  
POST OVERALL SIZE= 8"X9"  
FACIA SIZE= 2"X6"  
BEAM SIZE= 3"X8"



PAGE 2 OF 2 SCALE= 1/8" = 1'-0"

JASON M AND KIMBERLY A  
FRANZ LIVING TRUST  
310 W. CAMPBELL AVE.  
LITCHFIELD PARK, AZ 85340

PARCEL #501-68-066  
MCR #12308  
LOT #29

\*(SEE ATTACHED ENGINEERING SPECIFICATIONS FOR MORE DETAILS)



## DESIGN REVIEW BOARD COMMUNICATION

Business Item V.F  
Recommendation of Approval of  
Preliminary Hilltop Park Design

**To:** Design Review Board Members  
**From:** Randy Proch, Planning Director  
**Meeting Date:** 10/2/2025

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### RECOMMENDED MOTION:

**MOVE TO RECOMMEND APPROVAL TO THE CITY COUNCIL FOR THE PRELIMINARY HILLTOP PARK DESIGN, FILE NO. PZ-25-70, LOCATED AT 5374 N. LITCHFIELD ROAD AT LA LOMA SUBJECT TO THE EXHIBIT PROVIDED.**

### BACKGROUND/DISCUSSION:

The proposal is to vegetate, beautify, and reestablish a public gathering space located around The Hilltop School for the Arts, P.W. Litchfield Heritage Center, and Maricopa County Branch Library. The park space is located at the Rancho La Loma Homestead, located at 5374 N. Litchfield Road and is zoned Agritourism.

The yet-to-be-named park space is intended to compliment the numerous new projects located at Rancho La Loma, also known as The Hilltop. Staff has been working with the various entities involved as well as utilizing the public comments received through online and in-person surveys, open houses, and direction from the Recreation and Public Grounds Commission to create a phased park space on all remaining portions of the 21-acre site. The park space is approximately 9 acres, which includes the northern portion of the site, the two eastern cottages, bandstand and stage, former pump house and bathroom buildings, water tank, and western sunset terraces.

All aspects of the design have used public feedback received for programming, amenities, and attractions, which include walking trails throughout, botanical gardens focused on Sonoran Desert plants, cacti, and roses, rentable spaces at the bandstand and terraces, a centralized event space near the cottages and library, a playground space tucked away from adjacent uses, and storage and maintenance space for the Public Works department. The flora will be diversified and left to grow, with only seasonal cutbacks with a peacock-themed entry feature as you enter from Litchfield Road. The amount of natural turf is minimized and carefully placed for optimal use and historic revegetating, especially on the sunset terraces. The plan includes several new buildings including multiple bathrooms and ramadas, and is envisioned to include new uses for Cottage #2 and Cottage #3, just east of the museum space.

Access is managed through an expanded parking area along the north, gated vehicular access for events on the western terrace, ADA parking stalls near the event space and adjacent to the

museum, with Fire Department access embedded into the landscaping through a compacted DG path connecting the northern and southern parking lots, as well as a turnaround area near the cottages.

Staff has received comments throughout this preliminary design.

**STAFF RECOMMENDATION:**

Staff requests that Design Review Board take the following action:

Recommend approval of the preliminary design to the City Council, subject to the exhibit provided.

**FINANCIAL IMPACT:**

N/A

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**ATTACHMENTS:**

1. PZ-25-70 Report Attachment



Public Works  
Maintenance  
Yard

SUNSET  
TERRACE

FIRE LANE

30  
RAMADA  
THEATER

DESERT GARDENS

Bus Drop Off

STAGE

EVENT AREA

FIRE  
TURN-  
AROUND

LIBRARY

COTTAGES

COTTAGES

HOMESTEAD

Rose  
Garden

PERFORMING  
ARTS CENTER

FINE ARTS ACADEMY  
HIGH SCHOOL

LITCHFIELD ROAD

LITCHFIELD ROAD