

Design Review Board
Regular Meeting
Agenda

Litchfield Park Branch Library
Community Room
101 W. Wigwam Blvd.
Litchfield Park, AZ 85340

Thursday, August 6, 2026

6:00 PM

Members of the Litchfield Park Design Review Board will attend either in person, by telephone, or video conference call.
Physical access to the meeting room will be available 30 minutes prior to the meeting.

I. Call to Order

- A. The agenda and packet are available at: www.litchfieldpark.gov**
- B. A video recording of the meeting can be seen [here](#) the next business day.**

II. Pledge of Allegiance

III. Call to the Community

This is the time for citizens who would like to address the Commission on any non-agenda item. Action taken as a result of public comment will be limited to asking staff to review the matter, asking that the matter be put on a future agenda, or responding to criticism.

IV. Business

A. Approval of Minutes

ACTION/COMMENT

Presenter: *Randy Proch, Planning & Community Development Director*

Discussion and possible action to approve the June 4, 2026, regular meeting minutes

B. Gerber Collision Site Plan (PZ-26-37)

ACTION/COMMENT

Presenter: *Randy Proch, Planning & Community Development Director*

Discussion and possible action to recommend approval to the Zoning Administrator for a new automotive repair business located south of the Southwest corner of El Mirage Road and Camelback Road.

C. The Venue Design Review (PZ-26-40)

ACTION/COMMENT

Presenter: *Randy Proch, Planning & Community Development Director*

Discussion and possible action to recommend approval to the Zoning Administrator for a new freestanding commercial building located at 111 W. Honeysuckle Street.

D. Cox Guest House Conversion (PZ-26-44)

ACTION/COMMENT

Presenter: *Randy Proch, Planning & Community Development Director*

Discussion and possible action to recommend approval to the Zoning Administrator for a shed to guesthouse conversion.

V. Staff Report on Current Events

VI. Board Members Reports on Current Events

VII. Adjournment

Affidavit of Posting

I, Rena Dosch, do hereby certify that I caused to be posted a true and correct copy of this agenda for the Design Review Board meeting of Thursday, August 6, 2026, in the following place in the City of Litchfield Park:

1. City Hall, outside bulletin board
2. City Website

Rena Dosch, Planning Assistant

Persons with special accessibility needs should contact City Hall, (623) 935-5033, at least 48 hours prior to the meeting.



DESIGN REVIEW BOARD COMMUNICATION

Business Item IV.A
Approval of Minutes

To: Design Review Board Members
From: Rena Dosch, Planning Assistant
Meeting Date: 8/6/2026

RECOMMENDED MOTION:
MOVE TO APPROVE THE JUNE 4, 2026, REGULAR MEETING MINUTES

BACKGROUND/DISCUSSION:
N/A

STAFF RECOMMENDATION:
Staff recommends approval.

FINANCIAL IMPACT:
N/A

ATTACHMENTS:
1. 060426 DRB Minutes

I. Call to Order

The meeting was held in the Library Community Room and called to order by Vice Chair Dudley at 6:00 PM. A video recording of the meeting can be viewed [here](#).

Present: Vice Chair Susan Charnetsky; Chair Rachel Dudley; Commissioner Bob Darre;
Council Member Lisa Brainard Watson; Commissioner Jon Bohm

Staff: Planning Director, Randy Proch; Planning Assistant, Rena Dosch

II. Pledge of Allegiance

Vice Chair Dudley led the Pledge of Allegiance.

III. Call to the Community

Brian Antenbring, owner of the downtown commercial property at Wigwam Boulevard and Old Litchfield Road, briefly shared his long-term vision for the site. He discussed potential future development plans, including construction of a new three-story, approximately 8,000-square-foot building, as well as the redevelopment and transformation of the existing Ribbons building.

IV. Business

A. Approval of Minutes

APPROVED

MOVE TO APPROVE THE MAY 7, 2026 REGULAR MEETING MINUTES

MOVER Council Member Brainard Watson, **SECONDER** Commissioner Darre

AYE: Vice Chair Charnetsky, Chair Dudley, Commissioner Darre, Council Member Brainard Watson, Commissioner Bohm

5 - 0 - 0 Passed

B. Auto Club of Litchfield Park Site Plan (PZ-26-29)**DISCUSSED****FOR INFORMATION ONLY**

The proposal is to construct an automotive club business condo series of buildings to act as private garage spaces with an associated clubhouse building. The property is located within the Monument Point Business Park, zoned General Industrial (I) and is subject to the Monument Point Design Guidelines. The proposed Site Plan was submitted recently and has not received the first round of technical comments from the various reviewers (Planning, Engineering, Building, and Goodyear Fire Department). The proposal will need to amend any aspect deemed necessary as part of the staff review, which may impact the proposed layout and design as presented. Staff is looking to provide the applicant with initial DRB feedback as part of the first round of staff comments, which will be based upon regulations, requirements, and the Monument Point Business Park Design Guidelines document. The plans will then be updated and brought back before this board again, when completed.

V. Staff Report on Current Events

Mr. Proch provided an update on current development projects throughout the city. The school, roundabout, and library projects remain on schedule for an opening on August 3, 2026. The park, museum, and other planned improvements have not yet begun construction. He also reported that tenant improvement (TI) permits have been received for the Accomazzo project in Litchfield Square. The Rudolpho project in Litchfield Square has recently broken ground, while J. Poyner's project in the square is currently on hold.

VI. Board Members Reports on Current Events

Council Member Brainard Watson attended the groundbreaking and ribbon-cutting for Radiant Financial Group.

VII. Adjournment

Vice Chair Dudley adjourned the meeting at 6:57 PM.

MOVER Commissioner Darre, **SECONDER** Council Member Brainard Watson

AYE: Vice Chair Charnetsky, Chair Dudley, Commissioner Darre, Council Member Brainard Watson, Commissioner Bohm

5 - 0 - 0 Passed

APPROVED:

DESIGN REVIEW BOARD

Susan Charnetsky, Chair

CERTIFICATION

I, Rena Dosch, hereby certify that the foregoing minutes are a true and correct copy of the minutes of the meeting of the Design Review Board of the City of Litchfield Park held on Thursday, June 4, 2026. I further certify that the meeting was duly called and held and that a quorum was present.

Rena Dosch, Planning Assistant

**DESIGN REVIEW BOARD
COMMUNICATION**

**Business Item IV.B
Gerber Collision Site Plan (PZ-26-
37)**

To: Design Review Board Members
From: Randy Proch, Planning & Community Development Director
Meeting Date: 8/6/2026

RECOMMENDED MOTION:

MOVE TO RECOMMEND APPROVAL TO THE ZONING ADMINISTRATOR FOR A PROPOSED AUTOMOTIVE REPAIR BUSINESS, FILE NO. PZ-26-37, SUBJECT TO EXHIBITS PROVIDED BY THE APPLICANT.

BACKGROUND/DISCUSSION:

The proposal is to construct a new Gerber Collision, located within the Monument Point Business Park, south of the Southwest corner of El Mirage Road and Camelback Road. Monument Point is zoned General Industrial (I).

The applicant is proposing a new automotive repair business south of the three-story self-storage facility within Monument Point. The applicant has previously developed the Caliber Collision business to the immediate north-west within the same plaza. Staff has completed the initial technical review of the project with some corrections to be made regarding engineering data, clear ADA routing, and fire truck access. A resubmittal is expected after this meeting, with DRB comments and feedback being incorporated. No changes are expected to the architecture or design of the building. The proposal meets the Monument Point Design Guidelines, which were approved by the DRB on March 5, 2009. Staff is advancing this proposal to the DRB under the Enhanced Track for recommendation.

Staff has not received any public comments on this proposal.

STAFF RECOMMENDATION:

Staff requests that the Design Review Board take the following action:

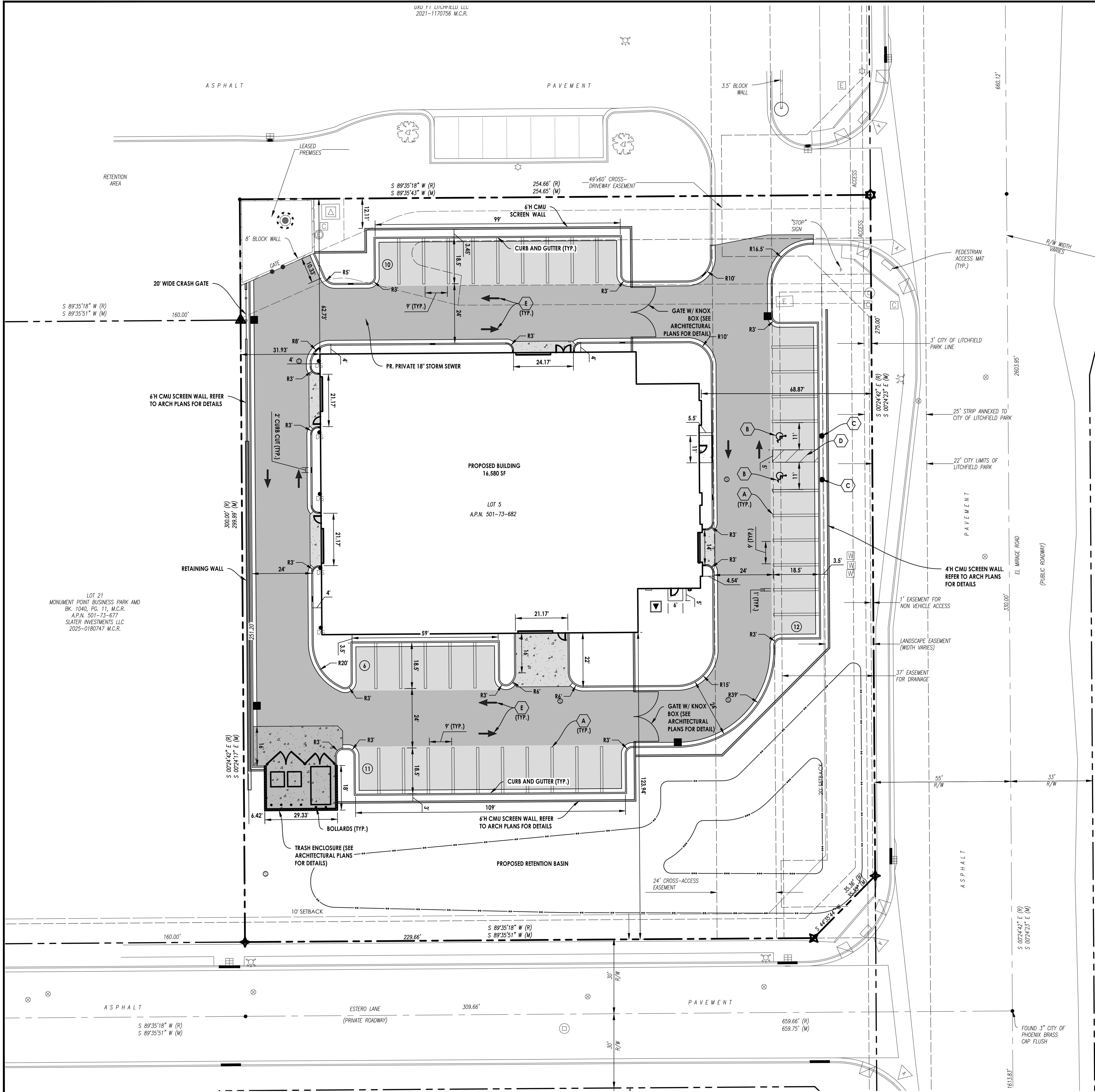
Recommend approval to the Zoning Administrator, subject to the exhibits provided by the applicant.

FINANCIAL IMPACT:

N/A

ATTACHMENTS:

1. PZ-26-37 Report Attachments



NOTES:

- ALL DIMENSIONS ALONG CURB LINES ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE.
- BUILDINGS AND ADJACENT TO BUILDING IMPROVEMENTS SHOWN ON THESE PLANS ARE BASED UPON THE BUILDING PLANS PROVIDED BY OTHERS AT THE DATE OF THESE PLANS BEING PREPARED. BUILDING PLANS NORMALLY CONTINUE TO CHANGE AFTER SITE PLANS HAVE BEEN APPROVED. THEREFORE THE CONTRACTOR SHALL USE THE BUILDING PLANS FOR FINAL BUILDING IMPROVEMENTS, AND VERIFY THAT ALL ADJACENT IMPROVEMENTS ARE CONSISTENT WITH THE DESIGN INTENT AND REQUIREMENTS OF THE SITE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF CLARIFICATION IS NEEDED, OR IF CONFLICTS OR INCONSISTENCIES EXIST.
- ADA DETECTIBLE WARNING STRIPS SHALL BE CAST IRON TILES, WET SET INTO CONCRETE SURFACE, PER MANUFACTURERS INSTALLATION RECOMMENDATIONS.
- NO PARKING SHALL BE ACCOMMODATED FOR OR PERMITTED OUTSIDE OF THE DESIGNATED, PAVED PARKING SPACES.
- TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY SUPERIOR SURVEYING.

(X) SIGNING AND STRIPING SCHEDULE

- A. 1' WIDE PARKING DEMARKATION, YELLOW
- B. YELLOW HANDICAP PARKING STRIPING (SEE DETAIL)
- C. "ACCESSIBLE" PARKING STALL SIGN ASSEMBLY (\$300 FINE)
- D. 4" PAINTED CROSS STRIPING 5' C-C
- E. DIRECTIONAL ARROW

STRIPING NOTE: ON-SITE PAVEMENT MARKINGS AND GRAPHICS SHALL CONSIST OF TWO (2) COATS OF TRAFFIC-RATED PAINT APPLIED A MINIMUM OF 30 DAYS APART. STRIPING AND GRAPHICS AT ENTRY DRIVES SHALL BE THERMOPLASTIC AS NOTED. MATERIALS SHALL MEET DEPARTMENT OF TRANSPORTATION STANDARDS.

(X) PARKING SUMMARY

	EXISTING	PROPOSED
REGULAR STALLS (9'x18.5')	0	37
ACCESSIBLE STALLS (16'x18.5')	0	2
TOTAL STALL COUNT	0	39

1 SPACE PER 500 S.F. = 16,580 S.F. / 500 S.F. = 34 SPACES REQUIRED
2 ACCESSIBLE STALLS FOR 26 - 50 SPACES PROVIDED

SPACE DEPTH = 20' MIN.
PROVIDED 18.5' DEPTH AND 1.5' OF OVERHANG = 20' OF DEPTH

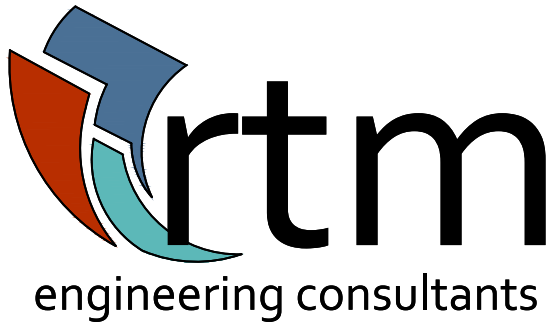
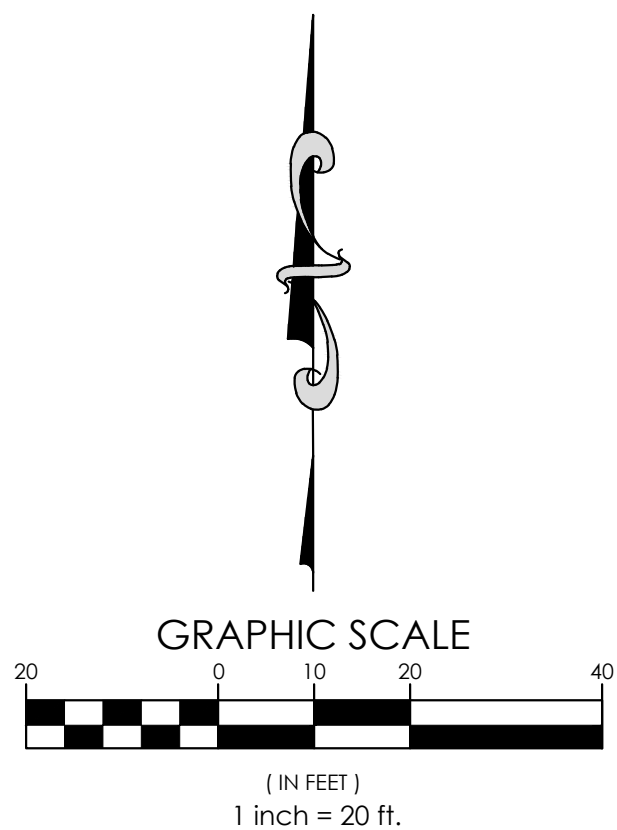
LEGEND:

	ADA TRUNCATED DOMES
	EXISTING BARRIER CURB
	EXISTING CURB AND GUTTER
	EXISTING CURB AND GUTTER - DEPRESSED
	86.12 CURB AND GUTTER UNLESS NOTED OTHERWISE
	86.12 CURB AND GUTTER - DEPRESSED
	86.12 CURB AND GUTTER - TRANSITION (ZERO TO FULL HEIGHT)
	SAWCUT LINE
	PROPOSED FULL-DEPTH REGULAR ASPHALT PAVEMENT. SEE DETAIL SHEETS
	PROPOSED FULL-DEPTH HEAVY-DUTY ASPHALT PAVEMENT. SEE DETAIL SHEETS
	PROPOSED CONCRETE PAVEMENT. SEE DETAIL SHEETS
	PROPOSED HEAVY-DUTY CONCRETE PAVEMENT. SEE DETAIL SHEETS
	PROPOSED CONCRETE SIDEWALK. SEE DETAIL SHEETS

SITE DATA

LOT AREA	76,083 S.F., 1.747 ACRES
PROJECT AREA	73,850 S.F., 1.695 ACRES
EXISTING IMPERVIOUS AREA	2,652 S.F.
PROPOSED IMPERVIOUS AREA	45,810 S.F.
PROPOSED LOT COVERAGE	60%
FRONT SETBACK (EL MIRAGE)	20-FEET
FRONT SETBACK (ESTERO)	10-FEET
SIDE SETBACK	NONE

PRELIMINARY



1933 N. Meacham Road
Suite 700
Schaumburg, IL 60173
Telephone: (847) 756-4180
www.rtmec.com

AZ Registration No.: 19583

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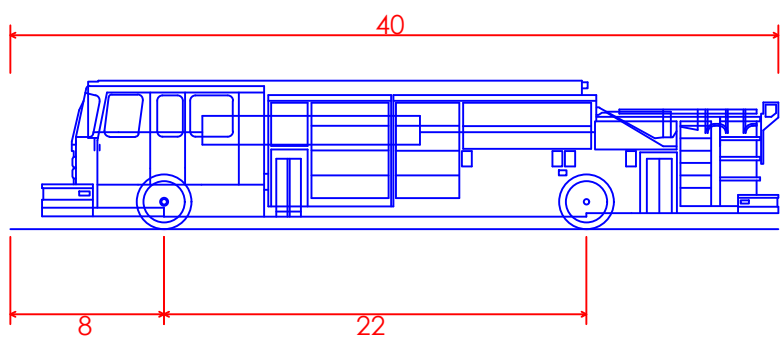
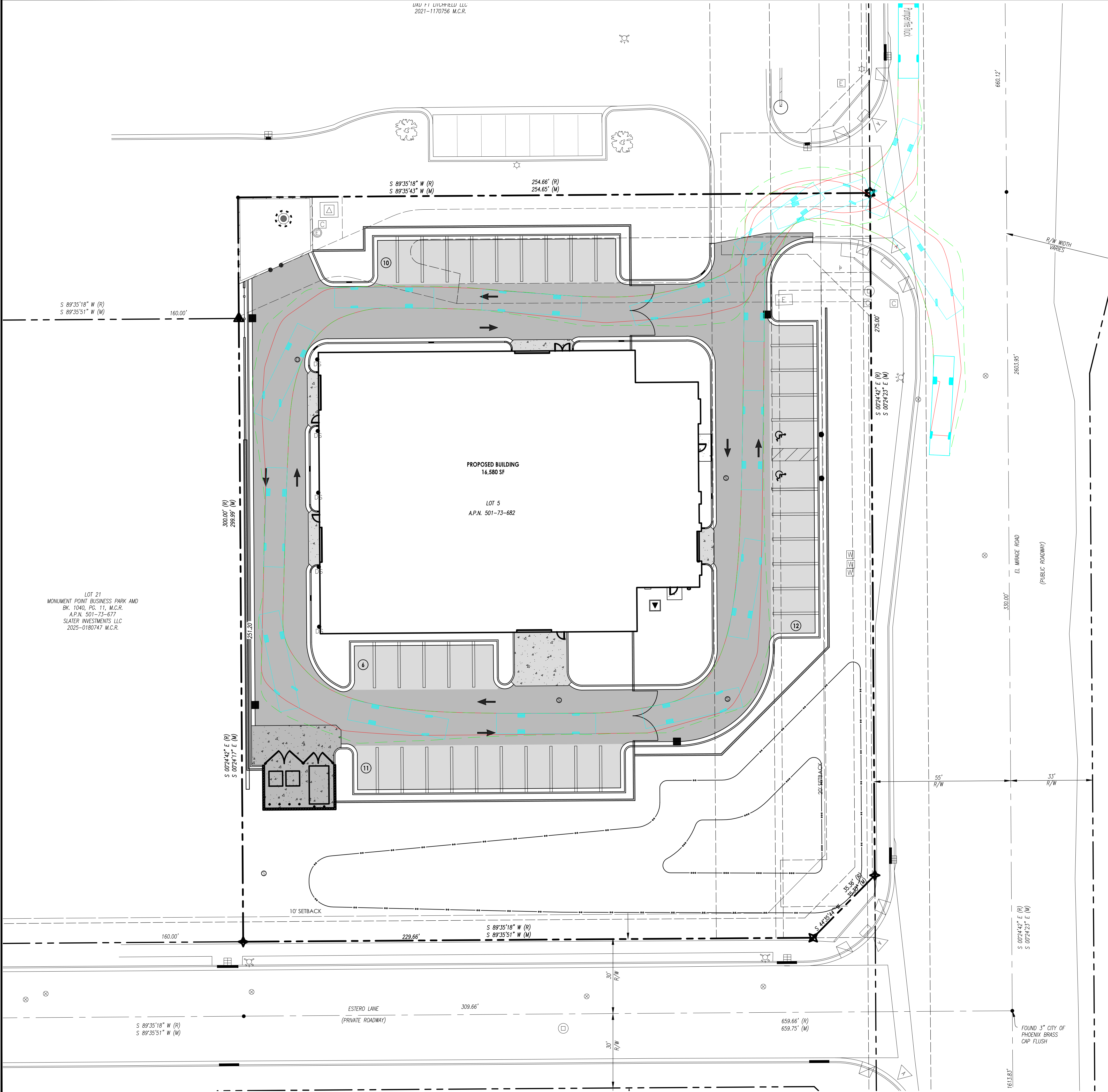
NO.	DATE	DESCRIPTION
	06/23/2026	SITE REVIEW

PROJECT:

GROUND UP CONSTRUCTION
gerber
COLLISION & GLASS
NW CORNER - EL MIRAGE & ESTERO LANE
LITCHFIELD PARK, AZ

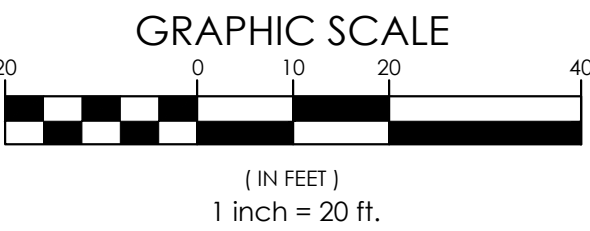
TITLE:
SITE PLAN

DATE: 06/23/2026	PROJECT # 2026 - 043
PRINCIPAL: MDW	SHEET: C2.0
PROJECT MGR: TS	DRAWN BY: BV
DRAWING FILE:	LITCHFIELD, SITE PLAN



Pumper Fire Truck
Overall Length 40.000ft
Overall Width 8.167ft
Overall Body Height 7.745ft
Min Body Ground Clearance 0.656ft
Track Width 8.167ft
Lock-to-lock time 5.00s
Max Wheel Angle 45.00°

40.000ft
8.167ft
7.745ft
0.656ft
8.167ft
5.00s
45.00°



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ISSUE AND/OR REVISIONS:		
NO.	DATE	DESCRIPTION
	06/23/2026	SITE REVIEW

PROJECT:

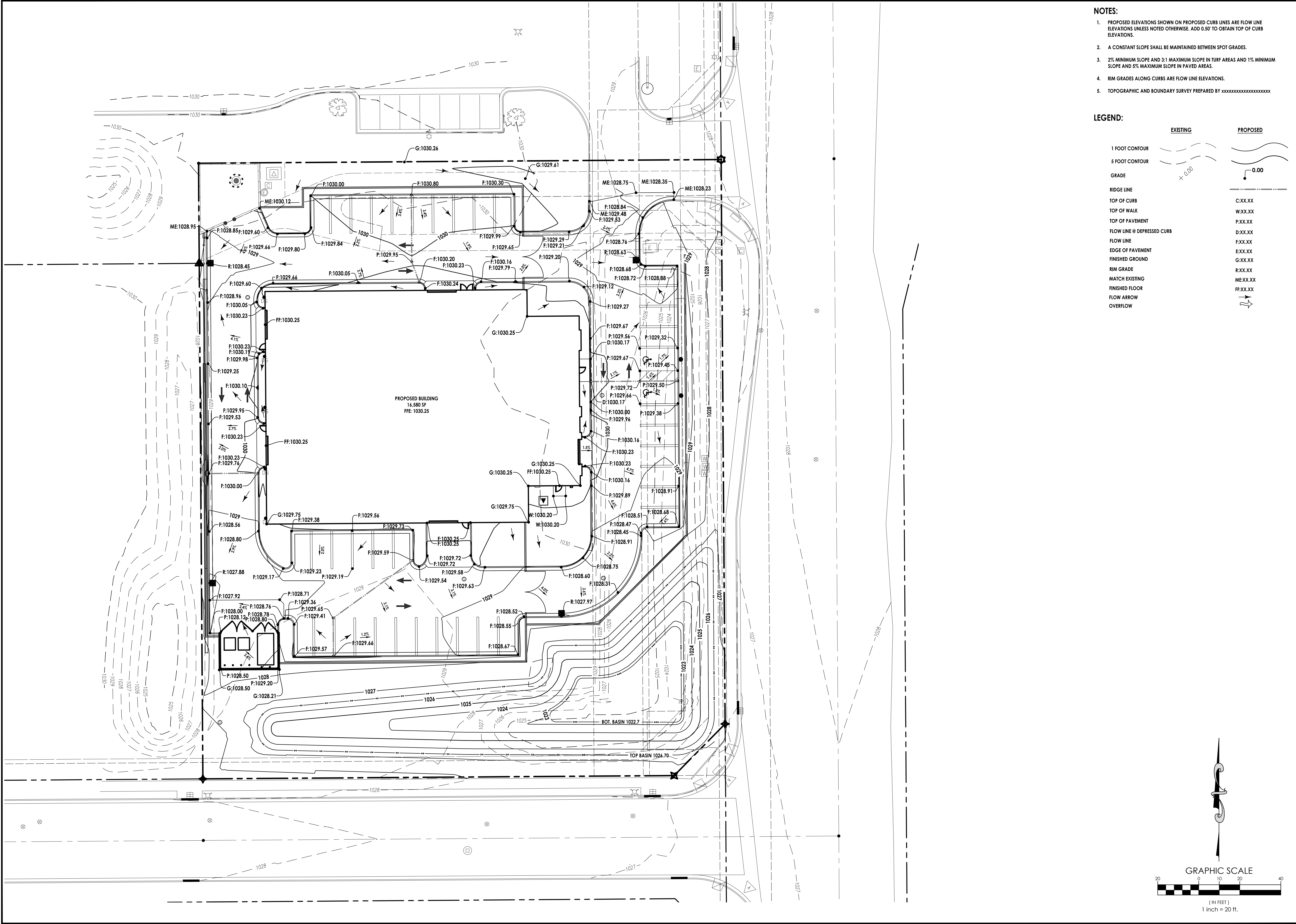
GROUND UP CONSTRUCTION

**COLLISION & GLASS**

NW CORNER - EL MIRAGE & ESTERO LANE

LITCHFIELD PARK, AZ

TITLE:	
FIRE TURCK TURNING RADIUS	
DATE:	PROJECT #
06/23/2026	2026 - 043
PRINCIPAL:	SHEET:
MDW	C2.1
PROJECT MGR: TS	DRAWN BY: BV
DRAWING FILE: LITCHFIELD_SITE_PLAN	



NOTES:

1. PROPOSED ELEVATIONS SHOWN ON PROPOSED CURB LINES ARE FLOW LINE ELEVATIONS UNLESS NOTED OTHERWISE. ADD 0.50' TO OBTAIN TOP OF CURB ELEVATIONS.
2. A CONSTANT SLOPE SHALL BE MAINTAINED BETWEEN SPOT GRADES.
3. 2% MINIMUM SLOPE AND 3:1 MAXIMUM SLOPE IN TURF AREAS AND 1% MINIMUM SLOPE AND 5% MAXIMUM SLOPE IN PAVED AREAS.
4. RIM GRADES ALONG CURBS ARE FLOW LINE ELEVATIONS.
5. TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY xxxxxxxxxxxxxxxxxxxxxx

LEGEND:

	EXISTING	PROPOSED
1 FOOT CONTOUR		
5 FOOT CONTOUR		
GRADE		
RIDGE LINE		
TOP OF CURB		C.XX.XX
TOP OF WALK		W.XX.XX
TOP OF PAVEMENT		P.XX.XX
FLOW LINE @ DEPRESSED CURB		D.XX.XX
FLOW LINE		F.XX.XX
EDGE OF PAVEMENT		E.XX.XX
FINISHED GROUND		G.XX.XX
RIM GRADE		R.XX.XX
MATCH EXISTING		ME.XX.XX
FINISHED FLOOR		FF.XX.XX
FLOW ARROW		
OVERFLOW		



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C.XX.XX
W.XX.XX
P.XX.XX
D.XX.XX
F.XX.XX
E.XX.XX
G.XX.XX
R.XX.XX
ME.XX.XX
FF.XX.XX

DATE:

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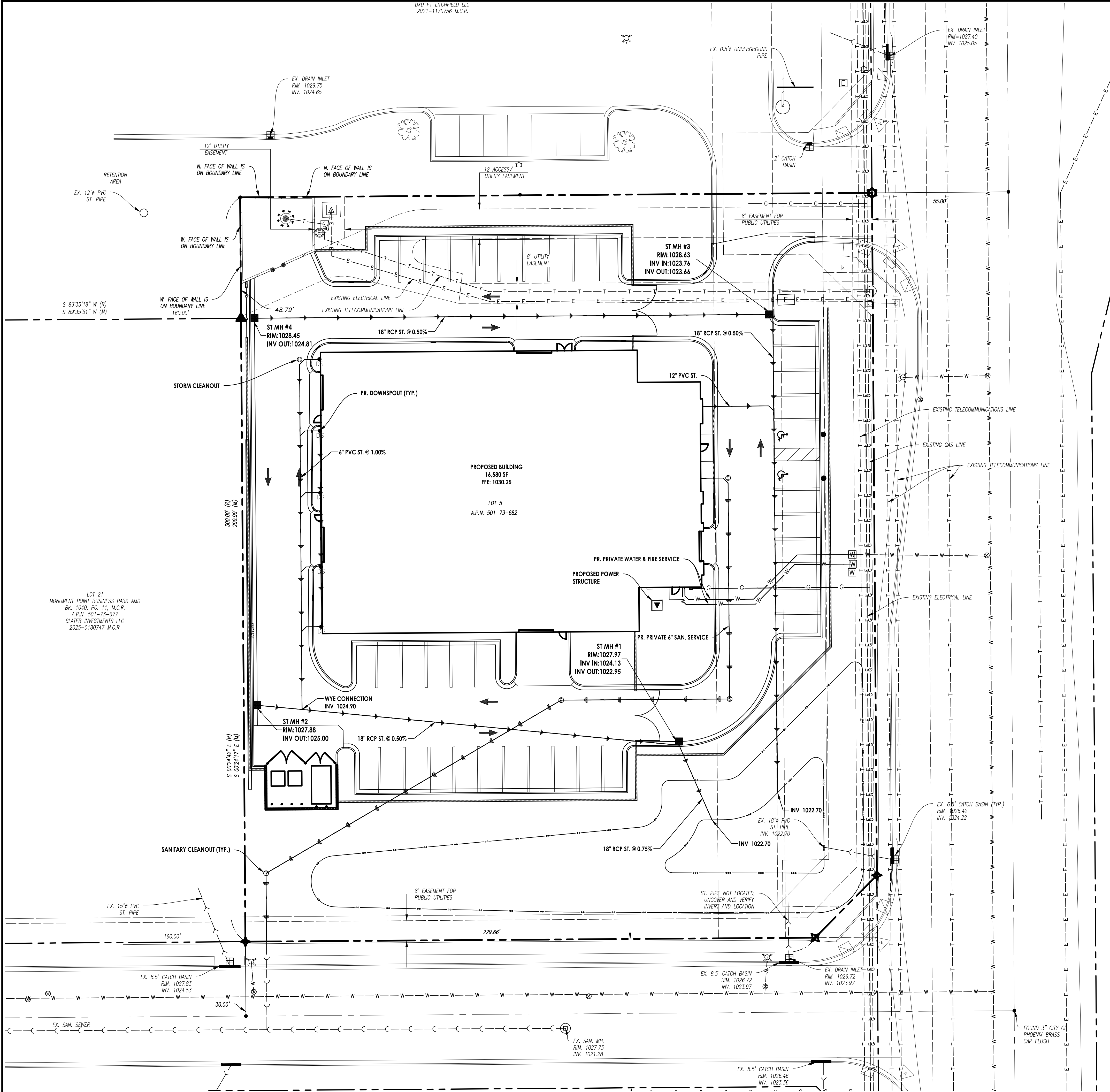
NO.	DATE	DESCRIPTION
	06/23/2026	SITE REVIEW

PROJECT:

GROUND UP CONSTRUCTION
gerber
COLLISION & GLASS
NW CORNER - EL MIRAGE & ESTERO LANE
LITCHFIELD PARK, AZ

TITLE:
GRADING PLAN

DATE: 06/23/2026	PROJECT # 2026 - 043
PRINCIPAL: MDW	SHEET: C3.0
PROJECT MGR: TS	DRAWN BY: BV
DRAWING FILE: LITCHFIELD_GRADING	



- NOTES:
- EX. ITEMS SHALL BE FIELD VERIFIED. RELOCATION OR ADJUSTMENT MAY BE NEEDED. CONTRACTOR TO VERIFY.
 - CONTRACTOR SHALL VERIFY ALL WORK, INCLUDING BUT LIMITED TO, SIZES, MATERIALS AND LOCATION, WITH UTILITY COMPANIES PRIOR TO INSTALLATION.
 - VERIFY SERVICE LOCATIONS WITH BUILDING PLANS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - RIM GRADES ALONG CURBS ARE FLOW LINE ELEVATIONS.
 - SEE SPECIFICATIONS SHEET FOR ALL STORM, SANITARY, AND WATER PIPE AND STRUCTURE SPECIFICATIONS.
 - ALL UTILITY TIE DIMENSIONS ARE FROM CENTER OF UTILITY AND TO BACK OF CURB WHEN TIED TO CURB LINES, UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO INSPECT EXISTING SEWER AT POINT OF CONNECTION. CONTRACTOR TO VERIFY THAT EXISTING PIPE IS IN GOOD WORKING CONDITION. CONTRACTOR TO REPAIR AS REQUIRED.
 - CONTRACTOR TO NOTIFY OWNER/ENGINEER IF CONFLICTS OCCUR.
 - NEW OPENING/CONNECTIONS TO EXISTING COMBINED AND SANITARY MANHOLE/STRUCTURES SHALL BE CORE-DRILLED AND UTILIZE RUBBER BOOTS CONFORMING TO ASTM C-923.



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ISSUE AND/OR REVISIONS:		
NO.	DATE	DESCRIPTION
	06/23/2026	SITE REVIEW

PROJECT:

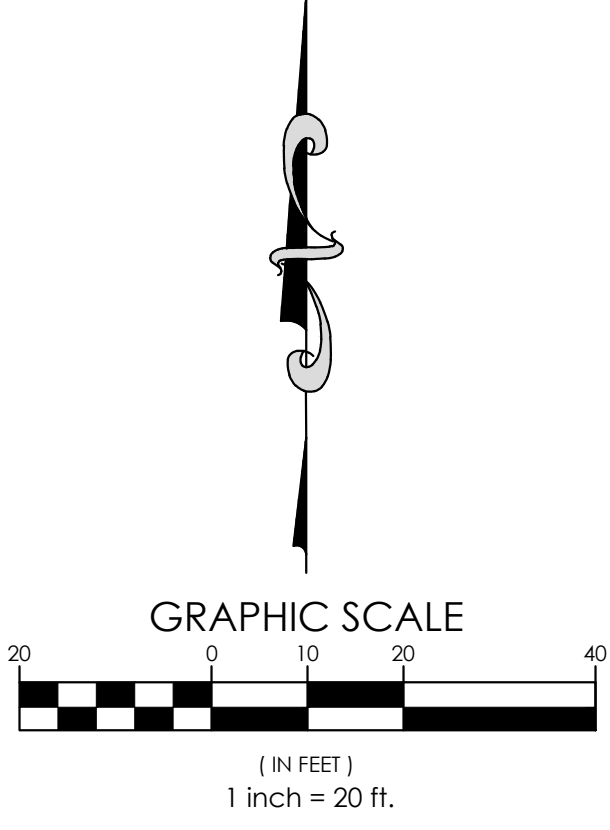
GROUND UP CONSTRUCTION

NW CORNER - EL MIRAGE & ESTERO LANE
LITCHFIELD PARK, AZ

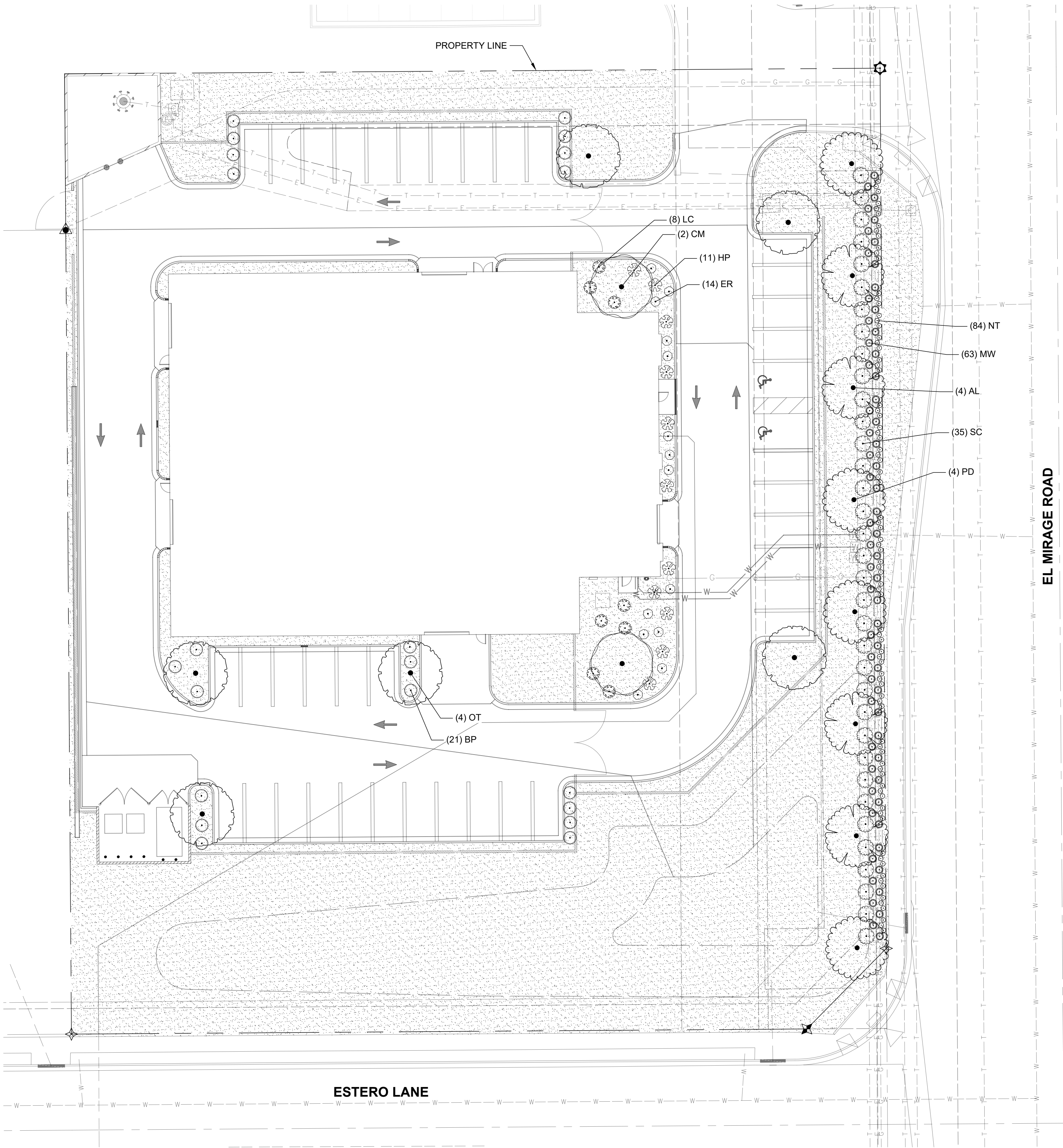
TITLE:
UTILITY PLAN

DATE: 06/23/2026		PROJECT # 2026 - 043	
PRINCIPAL:	MDW	SHEET:	C4.0
PROJECT MGR:	TS	DRAWN BY:	BV
DRAWING FILE:	LITCHFIELD_UTILITY		

PRELIMINARY



ISSUE/PURPOSE



SEE SHEET LP-2 FOR
PLANT SCHEDULE

LANDSCAPE CALCULATIONS

SITE INFORMATION:
AUTHORITY HAVING JURISDICTION: CITY OF LITCHFIELD PARK, AZ
ZONING: INDUSTRIAL (I)
TOTAL SITE AREA: 76,081 SF
LANDSCAPE AREA REQUIRED: 3,804 SF (5%)
LANDSCAPE AREA PROVIDED: 29,802 SF (33.5%)

PARKING LOT LANDSCAPE:
NUMBER OF PARKING SPACES: 38 SPACES
PARKING AREA: 7,297 SF
LANDSCAPE AREA REQUIRED: 365 SF (5%)
LANDSCAPE AREA PROVIDED: 2,766 SF (37.7%)
TREES REQUIRED: 6 (1 PER ISLAND)
TREES PROVIDED: 6 TREES

FOUNDATION LANDSCAPE:
FOUNDATION ALONG FRONTAGE: 113 LF
FOUNDATION LANDSCAPE REQUIRED: 37 LF
FOUNDATION LANDSCAPE PROVIDED: 65 LF

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- CONTRACTOR SHALL PROVIDE AND INSTALL SOLID SOD IN ALL RIGHT-OF-WAYS AND PARKWAYS (UNLESS NOT ALLOWED BY THE LOCAL JURISDICTION) AND SHALL PROVIDE WATERING AND MAINTENANCE UNTIL THE TURF IS ESTABLISHED AND HAS BEEN ACCEPTED BY OWNER.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING, CURBS, WATER, STORM, OR SANITARY SEWER UTILITIES. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

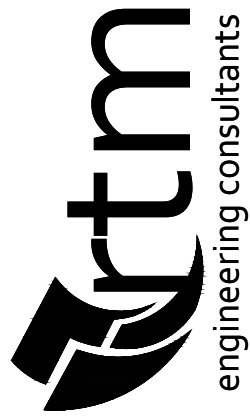
AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 2" THICK LAYER OF DECOMPOSED GRANITE PER PLAN, OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

PLANTING & IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

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LANDSCAPE
PLANTING PLAN

SHEET NAME

GERBER COLLISION

PROJECT NAME

PROJECT No.
2026-043

SHEET No.

LP-1
OF ## SHEETS



PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 - THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION.
- B. SCOPE OF WORK
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND /OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
- FURNISH NURSERY-CROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM EXCISING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
 - TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
 - ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT. MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
 - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/4 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- D. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DISCERNIBLE; NOT EXCEEDING 5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- E. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- F. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- G. TREE STAKING AND GUYING
- STAKES: 6" LONG GREEN METAL T-POSTS.
 - GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 - STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- L. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1" OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 - SOIL TESTING:
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
 - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - "CLAY BUSTER" OR 1/2" LANDSCAPERS COMPOST - USE MANUFACTURER'S RECOMMENDED RATE
 - IRON SULPHATE - 2 LBS. PER CU. YD.
 - IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY TRY THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1" OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 - ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

SUBMITTALS

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
 - SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
 - WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 - EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 - TRENCHING NEAR EXISTING TREES:
 - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS UNLESS IF LOCAL JURISDICTION REQUIRES OR OAK TREES LOCATED IN OAK WILT SUSCEPTIBLE AREAS.
- D. TREE PLANTING
- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL, LESS TWO TO FOUR INCHES.
 - SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
 - FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIAL GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
 - INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
 - BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
 - TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKES BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL, OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT SHOULD BE BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - 1"-2" TREES TWO STAKES PER TREE
 - 2"-12" TREES THREE STAKES PER TREE
 - TREES OVER 4" CALIPER GUY AS NEEDED
 - MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - #15 CONT. - 24" BOX TREES TWO STAKES PER TREE
 - 36"-48" BOX TREES THREE STAKES PER TREE
 - OVER 48" BOX TREES GUY AS NEEDED
 - MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE

SHRUBS

- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL, LESS TWO TO FOUR INCHES.
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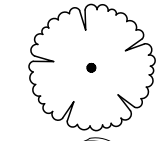
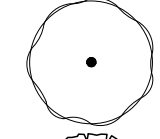
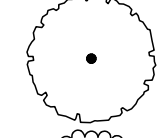
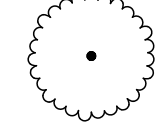
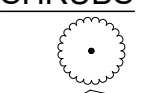
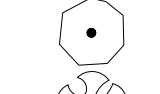
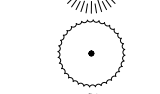
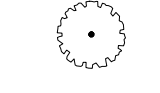
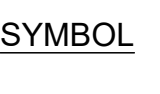
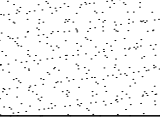
ROCK / STONE

- DR
- Decomposed Granite / 1/4" Minus
- 2" Compacted 1/4" minus decomposed granite over weed barrier/landscape fabric. Contractor to submit samples to Owner Representative for approval.
- E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
 - INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
 - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- F. MULCH
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
 - DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- G. CLEAN UP
- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
- H. INSPECTION AND ACCEPTANCE
- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 - WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 - THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- I. LANDSCAPE MAINTENANCE
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 - TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY); ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.

WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
TREES					
	AL	Acacia aneura / Mulga Min. 2" Cal. 10' Ht.	24"	Box	4
	CM	Cercis canadensis mexicana / Mexican Redbud	15 gal.	Cont.	2
	OT	Olneya tesota / Desert Ironwood Min. 2" Cal. 8' Ht.	15 gal.	Cont.	6
	PD	Parkinsonia x 'Desert Museum' / Desert Museum Palo Verde Min. 2" Cal. 10' Ht.	24"	Box	4
SHRUBS					
	BP	Baccharis pilularis 'Twin Peaks' / Twin Peaks Coyote Brush	5 gal.	Cont.	21
	ER	Euphorbia rigida / Yellow Spurge	5 gal.	Cont.	15
	HP	Hesperaloe parviflora / Red Yucca	5 gal.	Cont.	11
	LC	Leucophyllum frutescens 'Compacta' / Compact Texas Sage	5 gal.	Cont.	8
	MW	Muhlenbergia capillaris 'White Cloud' / White Cloud Muhly Grass	5 gal.	Cont.	63
	NT	Nassella tenuissima / Mexican Feather Grass	1 gal.	Cont.	84
	SC	Salvia clevelandii / Cleveland Sage	5 gal.	Cont.	35
ROCK / STONE					
	DR	Decomposed Granite / 1/4" Minus 2" Compacted 1/4" minus decomposed granite over weed barrier/landscape fabric. Contractor to submit samples to Owner Representative for approval.	---		31,292 sf

PROJECT NAME

LANDSCAPE SCHEDULE AND SPECIFICATIONS

PROJECT No.
2026-043

SHEET No.
LP-2

OF# #SHEETS

3933 N. Meacham Road
Suite 700
Schaumburg, IL 60193
Telephone: (847) 756-4480
www.rtmec.com
IL Design Firm: 18406777-0002

engineering consultants

DESCRIPTION

DATE

NO.

DESCRIPTION

DATE

NO.

National Presence. Local Expertise.



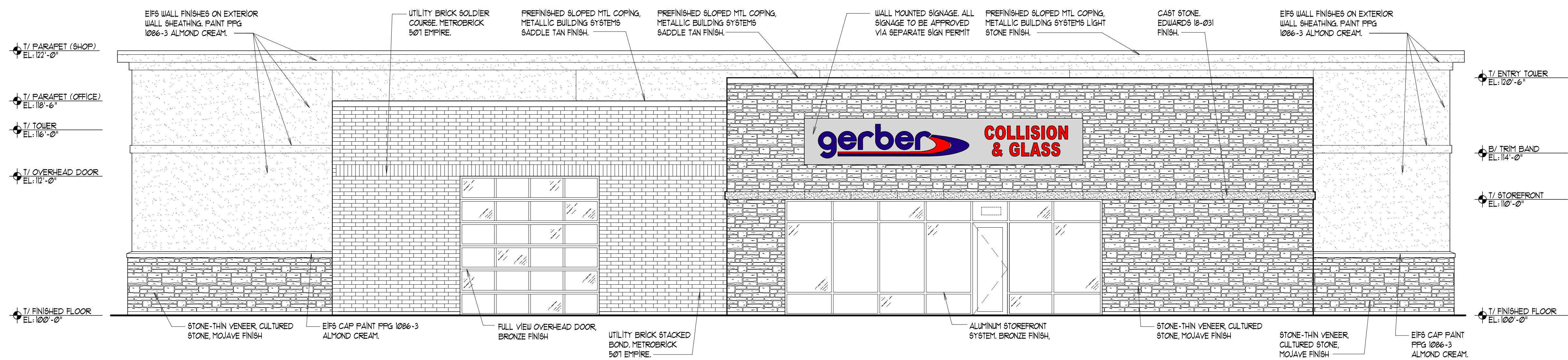
EVERGREEN DESIGN GROUP
800.581.6533
www.evergreendesigngroup.com
LANDSCAPE ARCHITECTURE
LAND PLANNING IRRIGATION DESIGN

[illegible]

1933 N. Meacham Road
Suite 700
Schaumburg, IL 60173
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www.rtmec.com

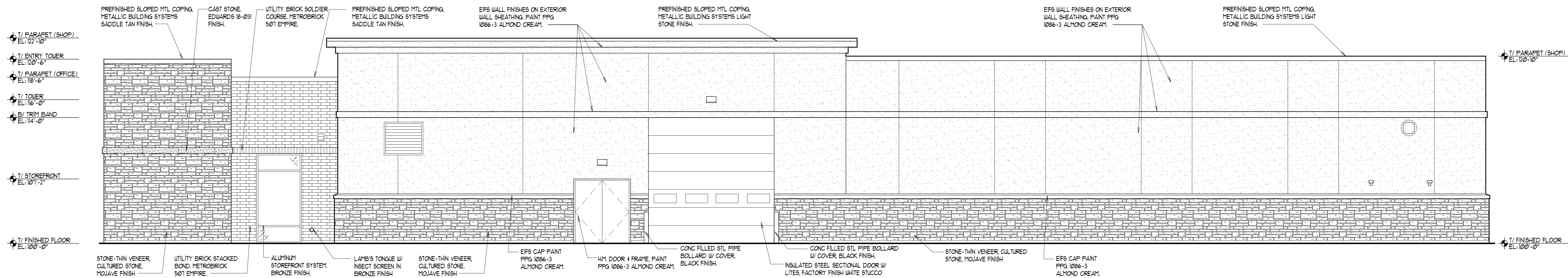


Artem
engineering consultants



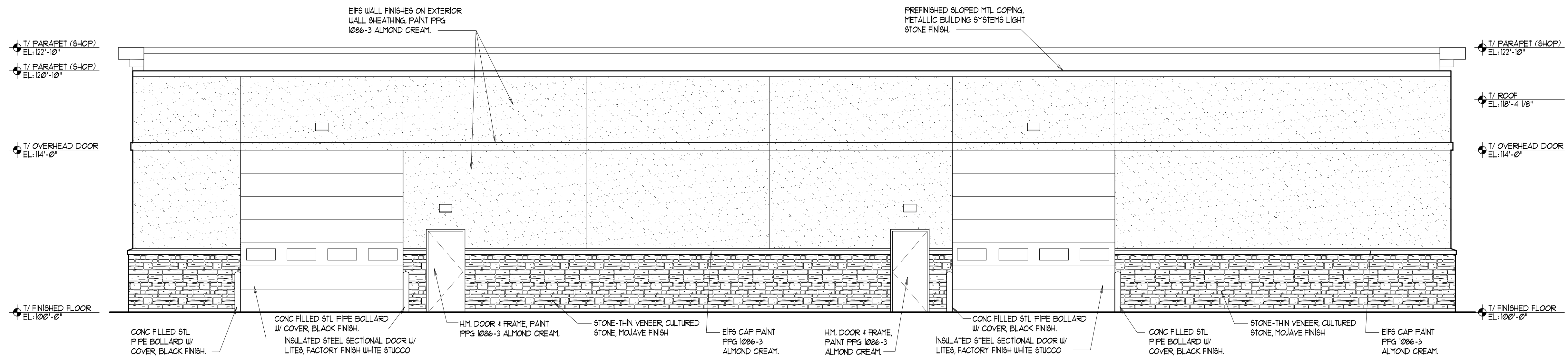
1 WEST ELEVATION

SCALE: 3/16" = 1'-0"



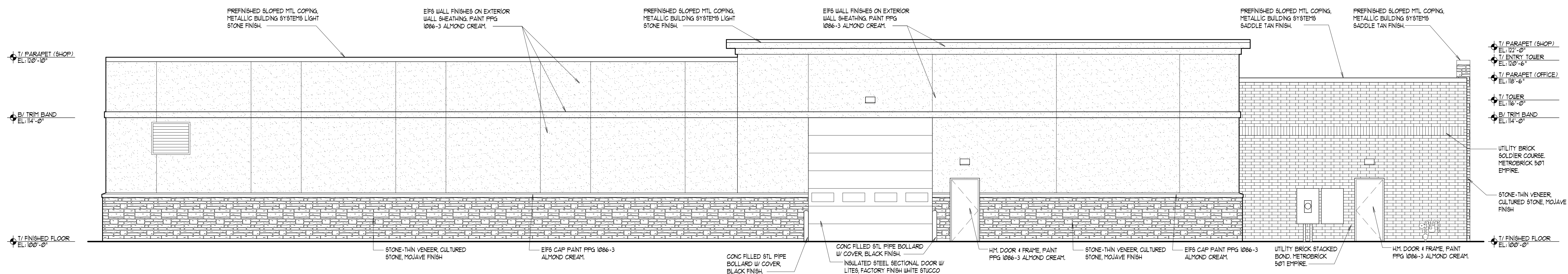
2 NORTH ELEVATION

SCALE: 3/16" = 1'-0"



3 EAST ELEVATION

SCALE: 3/16" = 1'-0"



4 SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

Pinnacle Development
Gerber Collision & Glass
NW Corner - El Mirage & Estero Lane - Litchfield Park, AZ
March 26, 2026 | project 2026-043



charles vincent george
ARCHITECTS
1245 E. Diehl Rd. Suite 101 • Naperville, IL 60563
P: 630.357.2023 • cvgarchitects.com



Corner of South/East Elevations & Fence

Gerber Collision & Glass
 NW Corner - EL Mirage & Estero Lane - Litchfield Park, AZ
 May 28, 2026 | Project 2026 - 043



Front Elevation & Fence

Gerber Collision & Glass
 NW Corner - EL Mirage & Estero Lane - Litchfield Park, AZ
 May 28, 2026 | Project 2026 - 043



Corner of North/East Elevations & Fence



Corner of North/East Elevations & Fence



Corner of North/West Elevations & Fence



Corner of South/West Elevations & Fence

To: Design Review Board Members
From: Randy Proch, Planning & Community Development Director
Meeting Date: 8/6/2026

RECOMMENDED MOTION:

MOVE TO RECOMMEND APPROVAL TO THE ZONING ADMINISTRATOR FOR THE PROPOSED TWO STORY COMMERCIAL BUILDING 'THE VENUE', FILE NO. PZ-26-40, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATION 1.

BACKGROUND/DISCUSSION:

The proposal is to build a new commercial building at the site of the current Ribbon's Tea House. The location is 111 W. Honeysuckle Street and is zoned NC PD.

The applicant has requested a demolition permit for the current Ribbon's building and will be constructing a two-story commercial space as a restaurant and event space. The property is currently zoned NC PD, which in turn would require additional considerations for parking and landscaping. A separate, parallel effort is underway for the applicant to rezone to City Center (CTR) zoning district, which would allow shared use of open space and parking as is subject for the rest of the Litchfield Square project. The 6,050 would utilize the zero-foot setbacks permitted in CTR and make a permanent fire loop around the Lumen (CenturyLink) building through separate review. The proposed architecture is consistent with the CTR standards found within Litchfield Square. Staff is advancing this proposal to the DRB under the Enhanced Track for recommendation.

Staff has not received any public comments on this proposal.

STAFF RECOMMENDATION:

Staff requests that the Design Review Board take the following action:

Recommend approval to the Zoning Administrator, subject to the exhibits provided by the applicant and stipulation 1.

1. Staff approval cannot occur until the property has been rezoned to City Center (CTR) zoning district.

FINANCIAL IMPACT:

N/A

ATTACHMENTS:

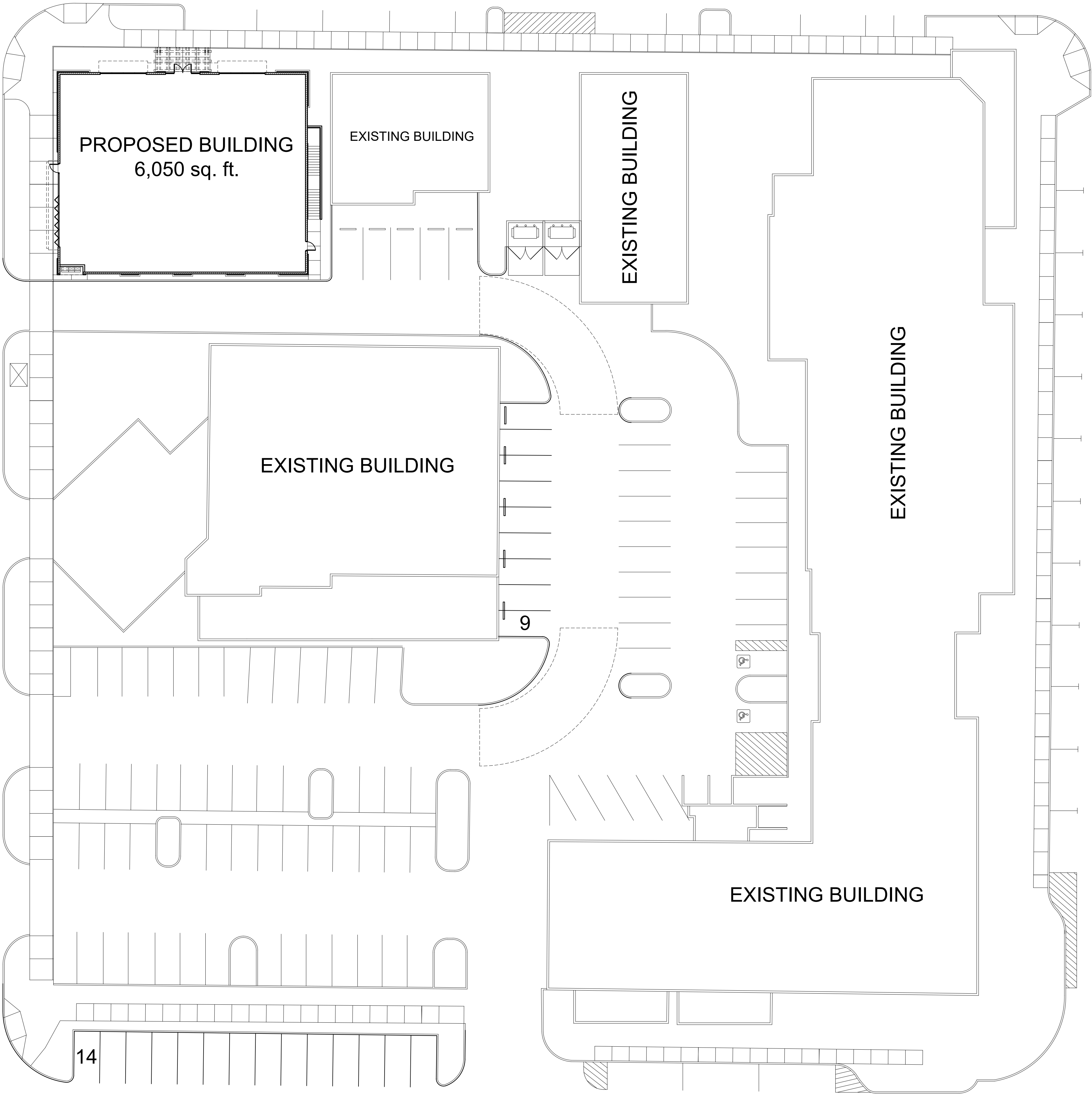
1. PZ-26-40 Report Attachments

DESERT AVENUE

HONEYSUCKLE STREET

OLD LITCHFIELD ROAD

WIGWAM BLVD



PROPOSED BUILDING
6,050 sq. ft.

EXISTING BUILDING

EXISTING BUILDING

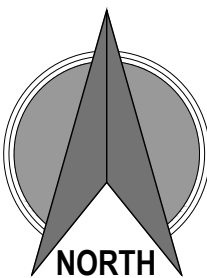
EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

14

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OVERALL
SITE PLAN

A100

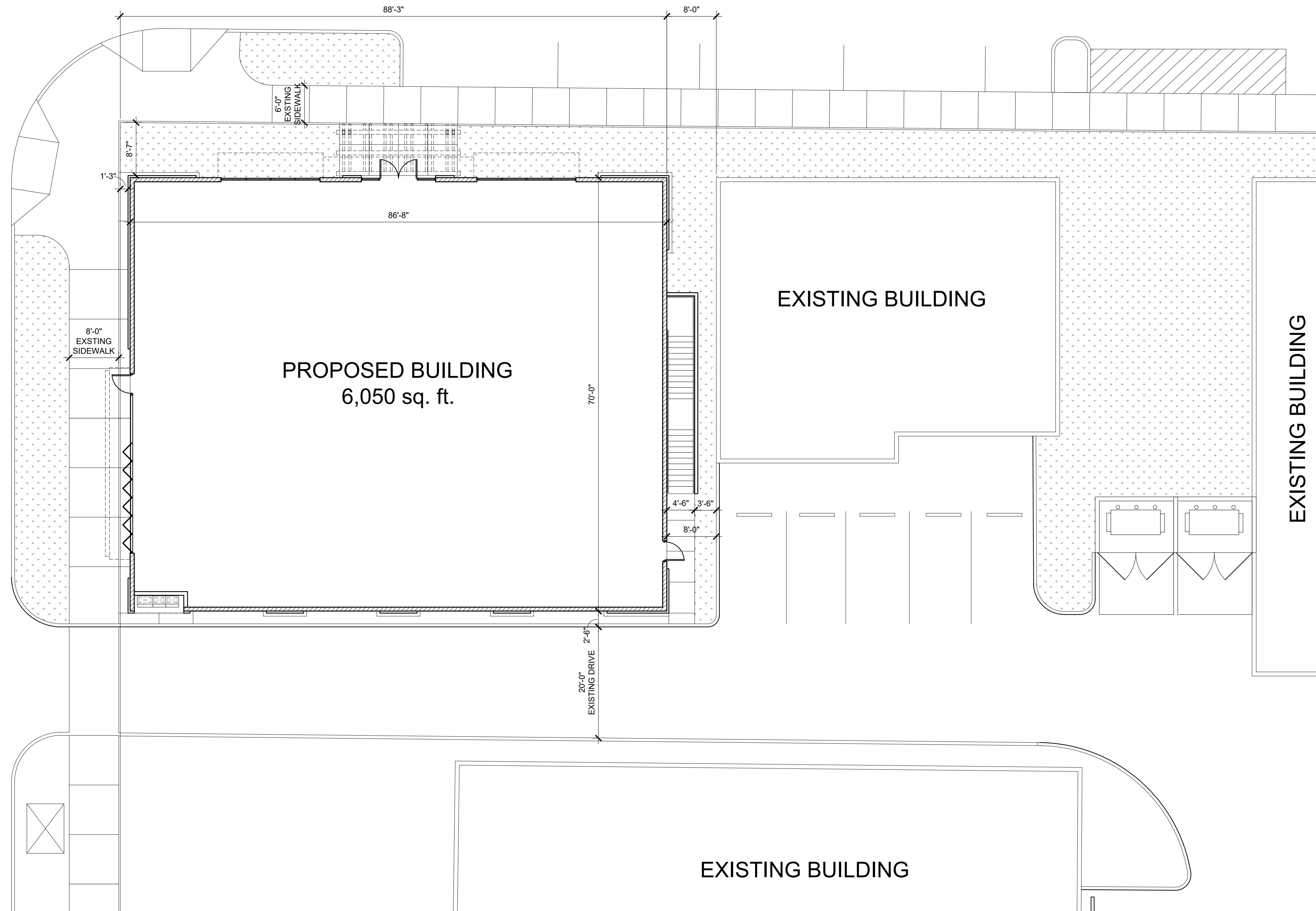
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THE VENUE
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LITCHFIELD PARK, ARIZONA 85340

DESERT AVENUE

HONEYSUCKLE STREET

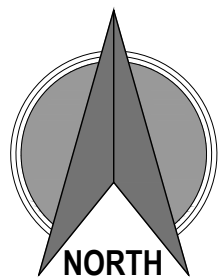


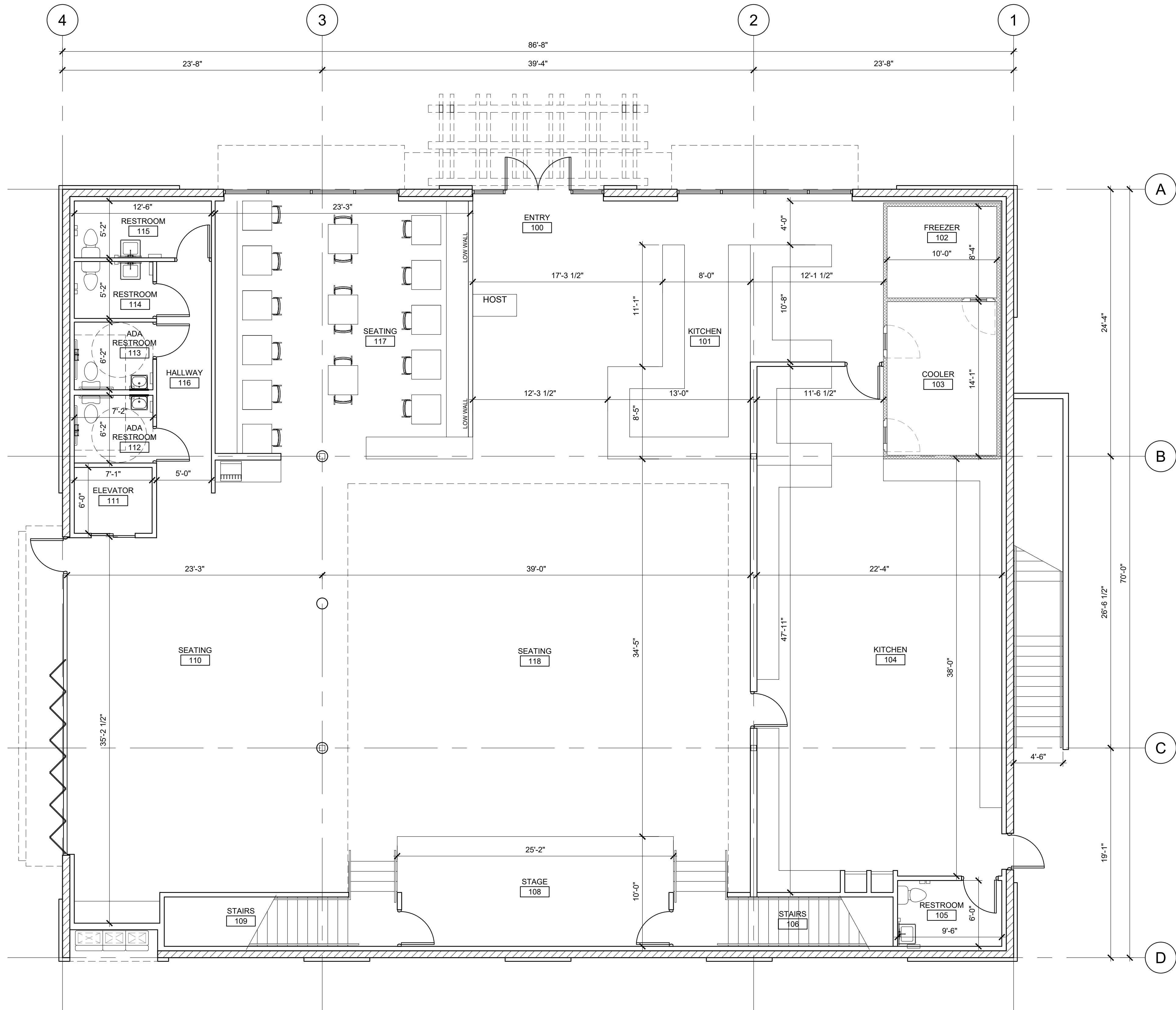
PROPOSED BUILDING
6,050 sq. ft.

EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING





OCCUPANT LOAD CALCULATION

PER 2018 IBC TABLE 1004.5

1ST FLOOR:		
SEATING:	1,680 SQ. FT. / 15 =	112 OCCUPANTS
STAGE:	248 SQ. FT. / 15 =	17 OCCUPANTS
KITCHEN:	1,373 SQ. FT. / 200 =	7 OCCUPANTS
STORAGE:	224 SQ. FT. / 300 =	1 OCCUPANTS
HALLWAYS:	1,574 SQ. FT. / 0 =	0 OCCUPANTS
ELEVATOR:	42 SQ. FT. / 0 =	0 OCCUPANTS
RESTROOMS:	247 SQ. FT. / 0 =	0 OCCUPANTS
INTERIOR WALL SPACE:	478 SQ. FT. / 0 =	0 OCCUPANTS

2ND FLOOR:		
SEATING:	1,343 SQ. FT. / 15 =	99 OCCUPANTS
OFFICE:	150 SQ. FT. / 150 =	1 OCCUPANTS
BAR:	432 SQ. FT. / 200 =	3 OCCUPANTS
HALLWAYS:	1,727 SQ. FT. / 0 =	0 OCCUPANTS
ELEVATOR:	42 SQ. FT. / 0 =	0 OCCUPANTS
RESTROOMS:	188 SQ. FT. / 0 =	0 OCCUPANTS
INTERIOR WALL SPACE:	400 SQ. FT. / 0 =	0 OCCUPANTS

TOTAL 1ST FLOOR OCCUPANT LOAD:	137 OCCUPANTS
TOTAL 2ND FLOOR OCCUPANT LOAD:	103 OCCUPANTS
TOTAL OVERALL OCCUPANT LOAD:	240 OCCUPANTS

EXITING:
PER 2018 IBC TABLE 1006.2.1

TOTAL OCCUPANT LOAD:	240 OCCUPANTS
REQUIRED:	2 EXITS
PROVIDED:	4 EXITS

PLUMBING CALCULATION

PER 2018 IBC TABLE 2902.1

OCCUPANT LOAD:	240 PERSONS
MEN	240 / 2 = 120 MALES
WOMAN	240 / 2 = 120 FEMALES
WATER CLOSETS:	
MEN	1 PER 75 = 2 REQUIRED/5 PROVIDED
WOMEN	1 PER 75 = 2 REQUIRED/4 PROVIDED
LAVS:	
MEN	1 PER 200 = 1 REQUIRED/5 PROVIDED
WOMEN	1 PER 200 = 1 REQUIRED/4 PROVIDED
SERVICE SINK	1 REQUIRED / 1 PROVIDED
WATER FOUNTAIN	
1 PER 500 =	WATER PROVIDED BY OWNER

PHNX
DESIGN
1855 EAST SOUTHERN AVE. SUITE 204
MESA, ARIZONA 85204
PHONE: 602.587.2932

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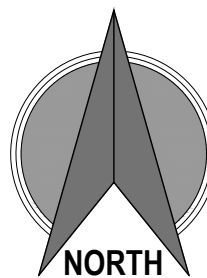
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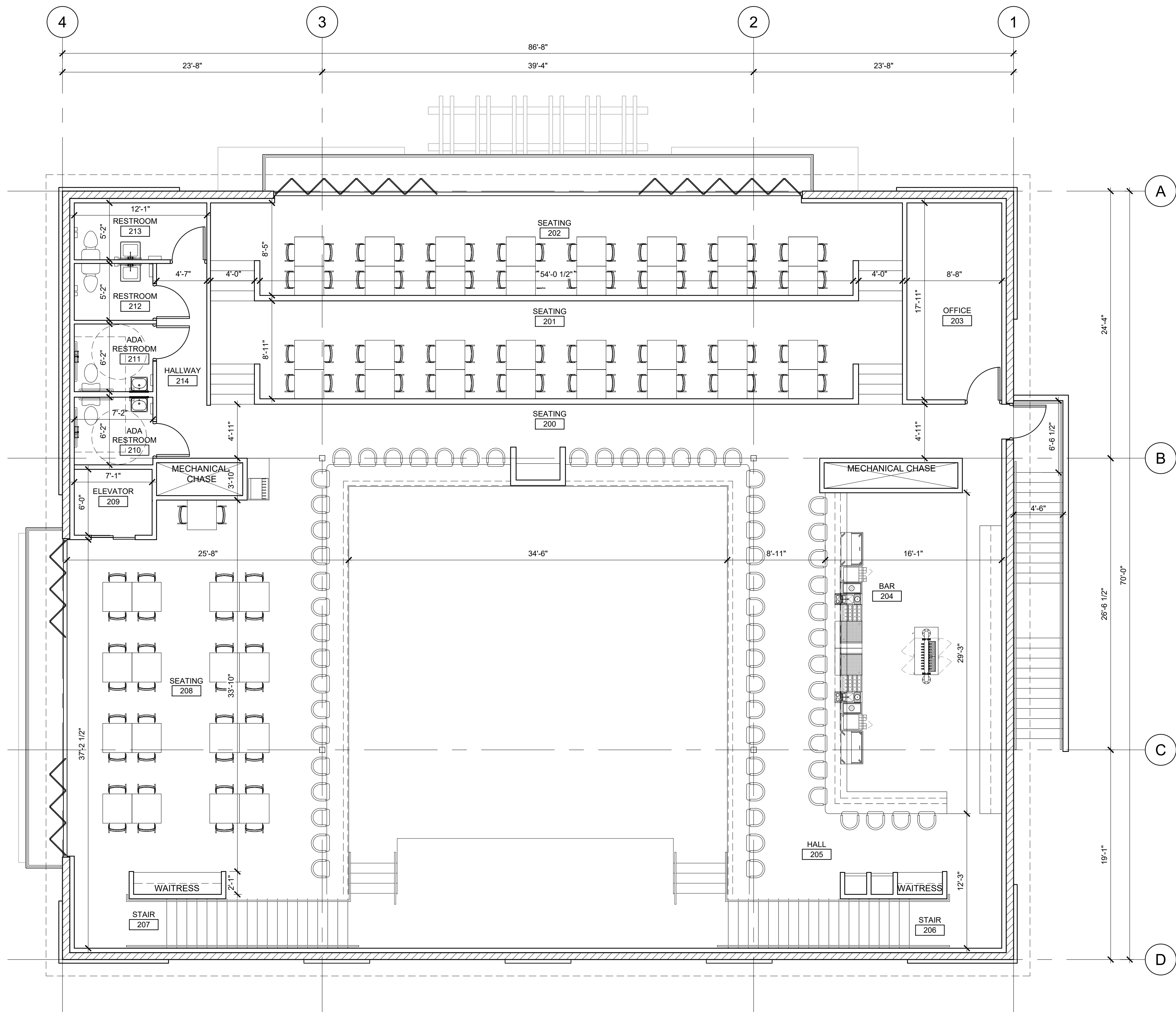
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PROPOSED 1st
FLOOR PLAN

A200

PHNX JOB NUMBER: 24-714





OCCUPANT LOAD CALCULATION			
PER 2018 IBC TABLE 1004.5			
2ND FLOOR:			
SEATING:	1,343 SQ. FT. / 15 =	99 OCCUPANTS	
OFFICE:	150 SQ. FT. / 150 =	1 OCCUPANTS	
BAR:	432 SQ. FT. / 200 =	3 OCCUPANTS	
HALLWAYS:	1,727 SQ. FT. / 0 =	0 OCCUPANTS	
ELEVATOR:	42 SQ. FT. / 0 =	0 OCCUPANTS	
RESTROOMS:	188 SQ. FT. / 0 =	0 OCCUPANTS	
INTERIOR WALL SPACE:	400 SQ. FT. / 0 =	0 OCCUPANTS	
TOTAL 2ND FLOOR OCCUPANT LOAD:		103 OCCUPANTS	

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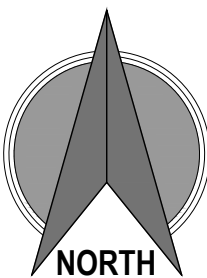
THE VENUE
111 WEST HONEYSUCKLE STREET
LITCHFIELD PARK, ARIZONA 85340

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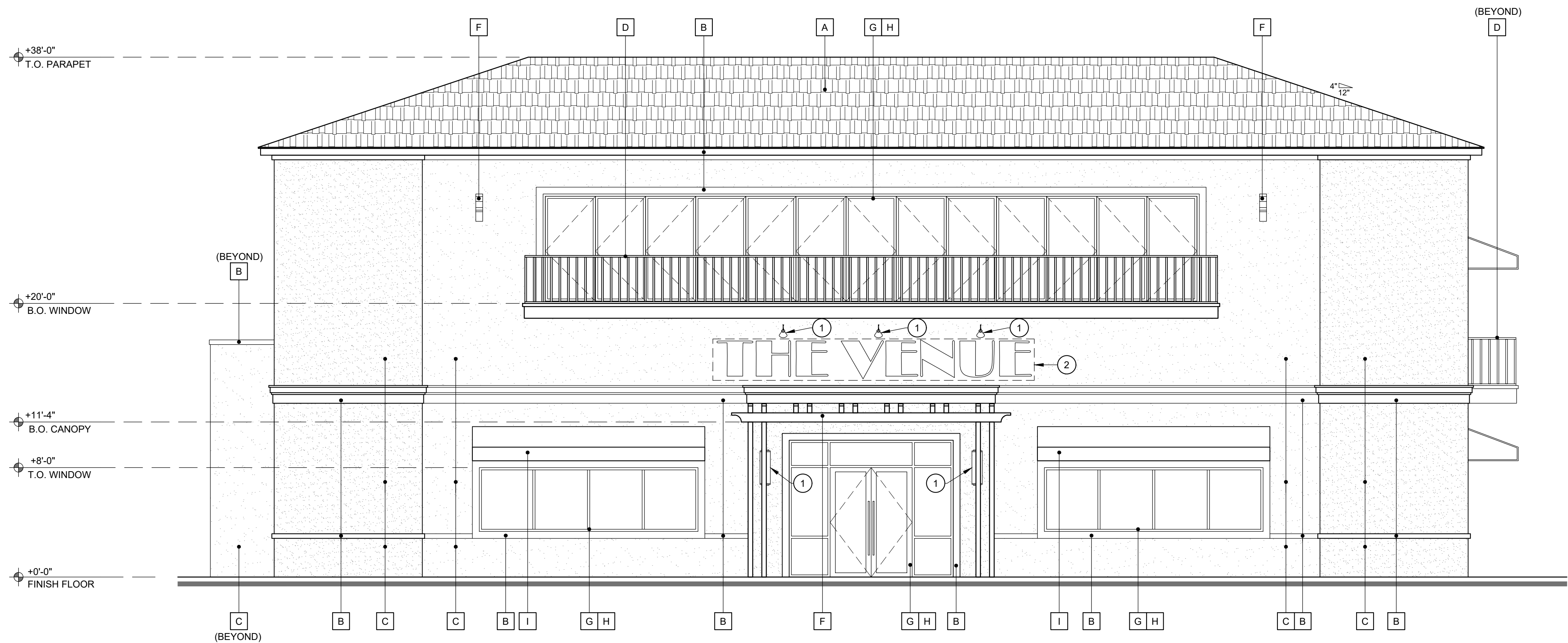
PROPOSED 2nd
FLOOR PLAN

A201

PHNX JOB NUMBER: 24-714

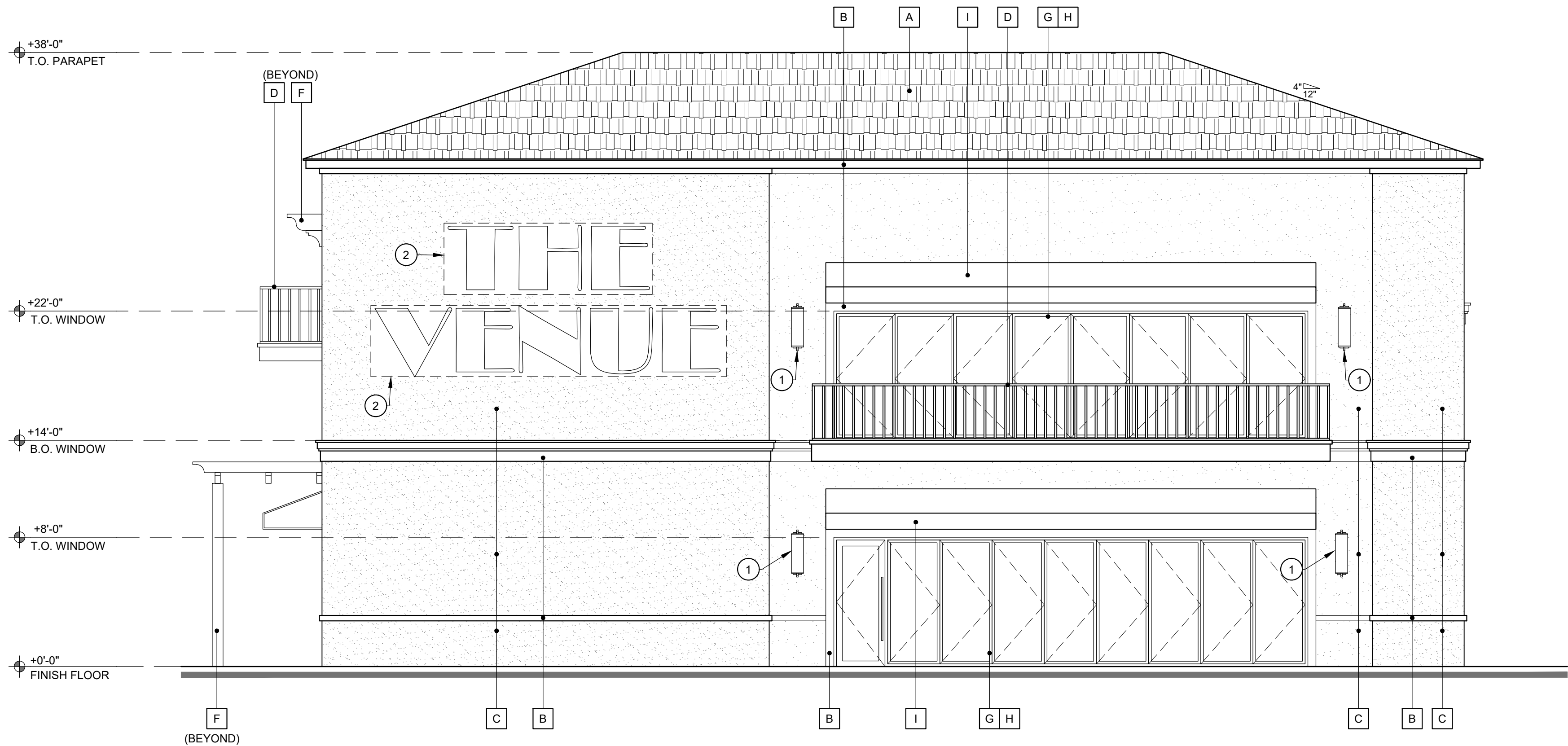


GENERAL NOTES:	FINISH KEYNOTES:	KEYNOTES:
A. ALL MASONRY JOINTS SHALL BE TOOLED CONCAVE. B. CLEAN / PREPARATION OF MASONRY PRIOR TO PAINTING/EIFS. C. SEE STRUCTURAL DRAWINGS & SPECIFICATIONS FOR HORIZONTAL & VERTICAL MASONRY REINFORCING REQUIREMENTS. E. GENERAL CONTRACTOR TO SUBMIT QUESTIONS IN "RFI" FORMAT TO ARCHITECT WITH ANY DISCREPANCY OR ISSUE ON THE PROJECT PRIOR TO BEGINNING WORK OF SPECIFIC ITEM. F. ALL UNEXPOSED UNFINISHED METAL AND WOOD SHALL BE PAINTED, COLOR SELECTED BY ARCHITECT.	A. TILE ROOF - MISSION "S" NEWPOINT CONCRETE ROOF TILE COLOR: TERRA COTTA B. STUCCO FINISH ON FOAM SHAPED CORNICE PAINT: SHERWIN WILLIAMS - SW 7630 "RAISIN" C. STUCCO - PAINTED FINSH SMOOTH SAND FINISH COLOR: SHERWIN WILLIAMS - SW 7005 "PURE WHITE" D. METAL / METAL RAILING PAINTED: SHERWIN WILLIAMS - SW 6258 "TRICORN BLACK" E. HOLLOW METAL DOOR PAINTED: SHERWIN WILLIAMS - SW 7005 "PURE WHITE" F. ROUGH SAWN WOOD BEAM - CLEAR SEALED G. ANODIZED ALUMINUM STOREFRONT SYSTEM MANUFACT: KAWNEER OR APPROVED EQUAL COLOR: BLACK H. 1" INSULATED GLAZING VALUE: (U=0.29, SHGC= 0.28) I. EXTERIOR VINYL AWNING COLOR: BLACK	# KEYNOTES: 1. EXTERIOR LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS. 2. DASHED LINE INDICATES LOCATION OF FUTURE SIGNAGE (N.I.C.).



2 NORTH EXTERIOR ELEVATION - FRONT

SCALE: 3/16" = 1'-0"



1 WEST EXTERIOR ELEVATION - RIGHT SIDE

SCALE: 3/16" = 1'-0"

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△ DATE	REVISION
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EXTERIOR
ELEVATIONS

A300

PHNX DESIGN #: 26-714

GENERAL NOTES:	FINISH KEYNOTES:	KEYNOTES:
A. ALL MASONRY JOINTS SHALL BE TOOLED CONCAVE. B. CLEAN / PREPARATION OF MASONRY PRIOR TO PAINTING/EIFS. C. SEE STRUCTURAL DRAWINGS & SPECIFICATIONS FOR HORIZONTAL & VERTICAL MASONRY REINFORCING REQUIREMENTS. E. GENERAL CONTRACTOR TO SUBMIT QUESTIONS IN "RFI" FORMAT TO ARCHITECT WITH ANY DISCREPANCY OR ISSUE ON THE PROJECT PRIOR TO BEGINNING WORK OF SPECIFIC ITEM. F. ALL UNEXPOSED UNFINISHED METAL AND WOOD SHALL BE PAINTED, COLOR SELECTED BY ARCHITECT.	A. TILE ROOF - MISSION "S" NEWPOINT CONCRETE ROOF TILE COLOR: TERRA COTTA B. STUCCO FINISH ON FOAM SHAPED CORNICE PAINT: SHERWIN WILLIAMS - SW 7630 "RAISIN" C. STUCCO - PAINTED FINISH SMOOTH SAND FINISH COLOR: SHERWIN WILLIAMS - SW 7005 "PURE WHITE" D. METAL / METAL RAILING PAINTED: SHERWIN WILLIAMS - SW 6258 "TRICORN BLACK" E. HOLLOW METAL DOOR PAINTED: SHERWIN WILLIAMS - SW 7005 "PURE WHITE" F. ROUGH SAWN WOOD BEAM - CLEAR SEALED G. ANODIZED ALUMINUM STOREFRONT SYSTEM MANUFACT: KAWNEER OR APPROVED EQUAL COLOR: BLACK H. 1" INSULATED GLAZING VALUE: (U=0.29, SHGC= 0.28) I. EXTERIOR VINYL AWNING COLOR: BLACK	# KEYNOTES: 1. EXTERIOR LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS. 2. DASHED LINE INDICATES LOCATION OF FUTURE SIGNAGE (N.I.C.).



2 NORTH EXTERIOR ELEVATION - FRONT

SCALE: 3/16" = 1'-0"



1 WEST EXTERIOR ELEVATION - RIGHT SIDE

SCALE: 3/16" = 1'-0"

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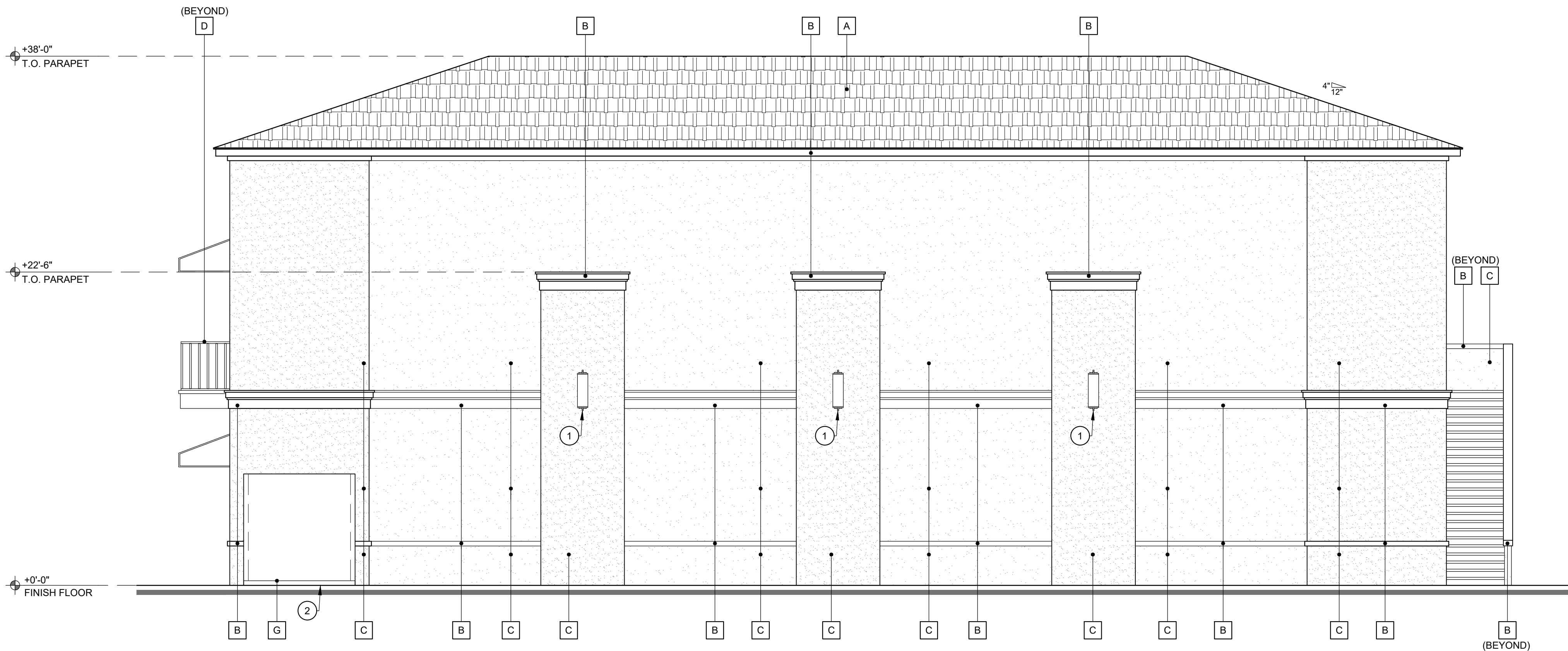
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EXTERIOR
ELEVATIONS

A300

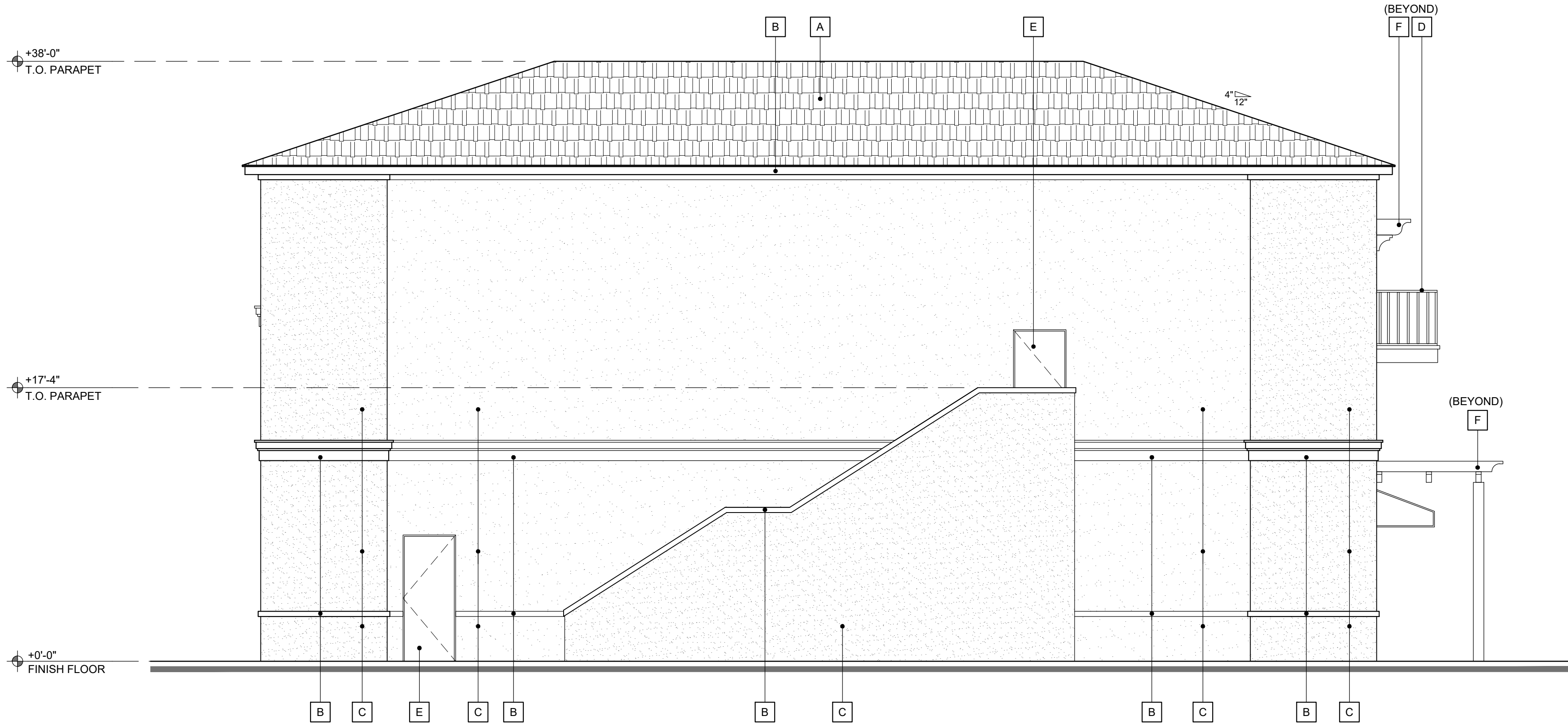
PHNX DESIGN #: 26-714

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2 SOUTH EXTERIOR ELEVATION - REAR

SCALE: 3/16" = 1'-0"



1 EAST EXTERIOR ELEVATION - LEFT SIDE

SCALE: 3/16" = 1'-0"

PHNX
DESIGN

1855 EAST SOUTHERN AVE. SUITE 204
MESA, ARIZONA 85204
PHONE 602.587.2932

THOMAS M. DeBYL
35463
REGISTERED PROFESSIONAL ENGINEER
ARIZONA, U.S.A.

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111 WEST HONEYSUCKLE STREET
LITCHFIELD PARK, ARIZONA 85340

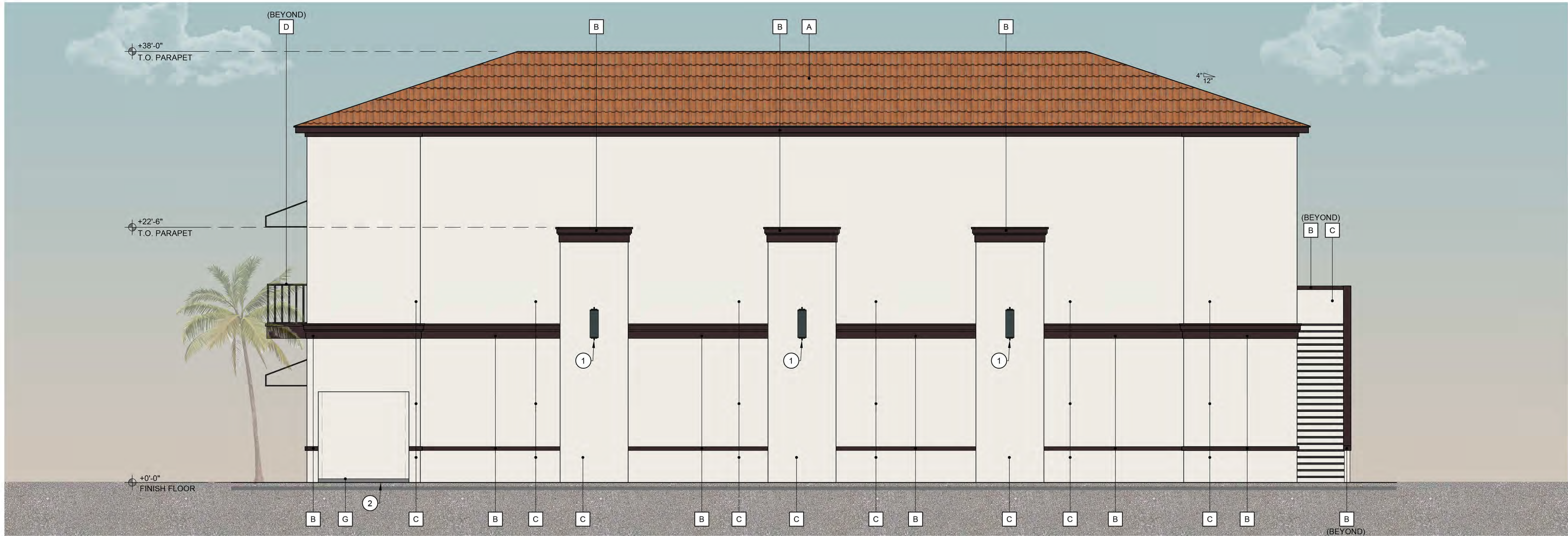
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EXTERIOR
ELEVATIONS

A301

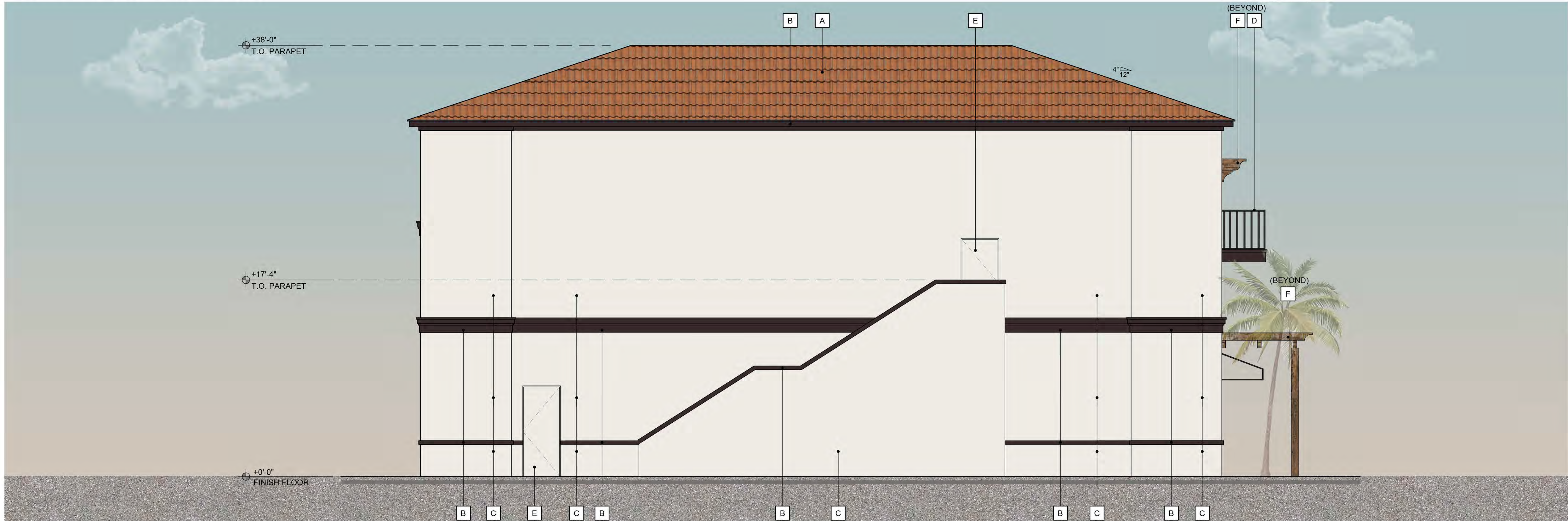
PHNX DESIGN #: 26-714

GENERAL NOTES:	FINISH KEYNOTES:	KEYNOTES:
A. ALL MASONRY JOINTS SHALL BE TOOLED CONCAVE. B. CLEAN / PREPARATION OF MASONRY PRIOR TO PAINTING/EIFS. C. SEE STRUCTURAL DRAWINGS & SPECIFICATIONS FOR HORIZONTAL & VERTICAL MASONRY REINFORCING REQUIREMENTS. E. GENERAL CONTRACTOR TO SUBMIT QUESTIONS IN "RFI" FORMAT TO ARCHITECT WITH ANY DISCREPANCY OR ISSUE ON THE PROJECT PRIOR TO BEGINNING WORK OF SPECIFIC ITEM. F. ALL UNEXPOSED UNFINISHED METAL AND WOOD SHALL BE PAINTED, COLOR SELECTED BY ARCHITECT.	A. TILE ROOF - MISSION "S" NEWPOINT CONCRETE ROOF TILE COLOR: TERRA COTTA B. STUCCO FINISH ON FOAM SHAPED CORNICE PAINT: SHERWIN WILLIAMS - SW 7630 "RAISIN" C. STUCCO - PAINTED FINISH SMOOTH SAND FINISH COLOR: SHERWIN WILLIAMS - SW 7005 "PURE WHITE" D. METAL / METAL RAILING PAINTED: SHERWIN WILLIAMS - SW 6258 "TRICORN BLACK" E. HOLLOW METAL DOOR PAINTED: SHERWIN WILLIAMS - SW 7005 "PURE WHITE" F. ROUGH SAWN WOOD BEAM - CLEAR SEALED G. SES CABINET (SERVICE ENTRANCE SECTION) FINISH: PAINTED TO MATCH ADJACENT WALL/MATERIAL COLOR	1. EXTERIOR LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS. 2. INSTALL A 4" RAISED CONCRETE PAD AT THE S.E.S. (SERVICE ENTRANCE SECTION), REFER TO ELECTRICAL DRAWINGS.



2 SOUTH EXTERIOR ELEVATION - REAR

SCALE: 3/16" = 1'-0"



1 EAST EXTERIOR ELEVATION - LEFT SIDE

SCALE: 3/16" = 1'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION
OR RECORDING

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THE VENUE
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PERPECTIVE

A302

PHNX DESIGN #: 26-714



TILE ROOF - MISSION "S"
NEWPOINT CONCRETE
ROOF TILE
COLOR: TERRA COTTA



STUCCO FINISH ON FOAM
SHAPED CORNICE
PAINT: SHERWIN WILLIAMS
- SW 7630 "RAISIN"



STUCCO - PAINTED
FINISH SMOOTH SAND
FINISH
COLOR: SHERWIN
WILLIAMS - SW 7005
"PURE WHITE"



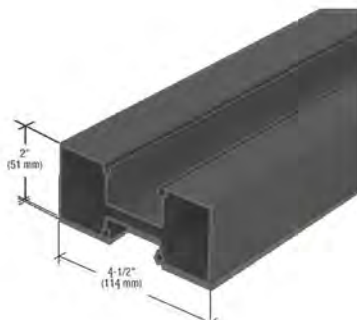
METAL / METAL RAILING
PAINTED: SHERWIN
WILLIAMS - SW 6258
"TRICORN BLACK"



ROUGH SAWN WOOD
BEAM - CLEAR SEALED



METAL FASCIA / CANOPY
ATAS
PAINT: DUNN EDWARDS
DE6399 BIG "MOLASSES"



ALUMINUM STOREFRONT, REALING
AND SECTION DOOR
MANUFACT: KAWNEER
COLOR: BLACK



1" INSULATED GLAZING, REALING
AND SECTION DOOR
VALUE: (U=0.29, SHGC= 0.28)

**DESIGN REVIEW BOARD
COMMUNICATION**

**Business Item IV.D
Cox Guest House Conversion (PZ-
26-44)**

To: Design Review Board Members
From: Randy Proch, Planning & Community Development Director
Meeting Date: 8/6/2026

RECOMMENDED MOTION:

MOVE TO RECOMMEND APPROVAL TO THE ZONING ADMINISTRATOR FOR THE PROPOSED SHED TO GUESTHOUSE CONVERSION, FILE NO. PZ-26-44, SUBJECT TO THE EXHIBITS PROVIDED AND STIPULATIONS 1. THROUGH 3.

BACKGROUND/DISCUSSION:

The proposal is to build a guesthouse from a prefab shed in the rear yard. The home is located at 403 Redondo Drive South and is zoned R1-15.

The applicant is requesting to utilize a prefab shed as a guesthouse in the rear yard. The structure will be constructed of wood with a shingle roof and front porch. The building footprint is set an additional 2 feet away from the required five-foot side property line setback due to the additional height of the roof with a peak of 12 feet. As described in the stipulations included below, these sort of prefab buildings are unlikely to support the 2018 IRC requirements for a habitable structure. Any deficiencies will need to be addressed in the construction drawings review.

Staff has not received any public comments on this proposal.

STAFF RECOMMENDATION:

Staff recommends that the Design Review Board take the following action:

Recommend Approval to the Zoning Administrator for the proposed shed to guesthouse conversion, subject to the exhibits provided by the applicant, and stipulations 1. through 3.

1. A Building Permit issued by the City will be required before any construction is to occur.
2. Construction shall meet all the prescriptive requirements of the 2018 IRC.
3. Provide on-site retention for the 100-year, 6-hour event for the new construction, with a maximum of 12-inch depth including flow lines.

FINANCIAL IMPACT:

N/A

ATTACHMENTS:

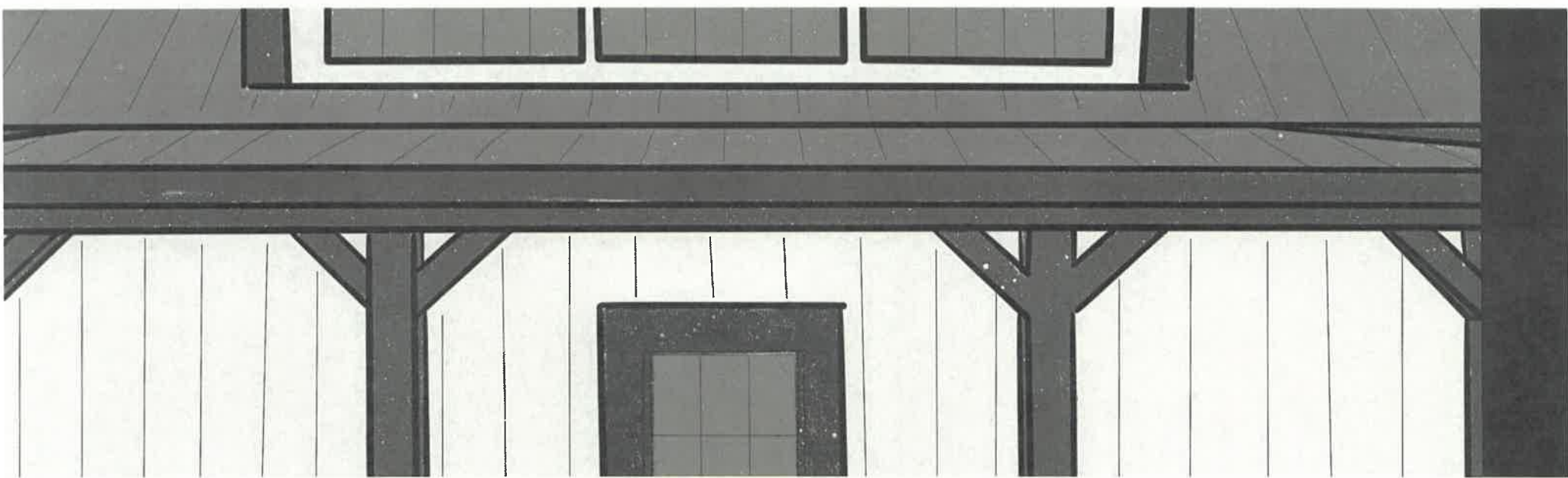
1. PZ-26-44 Report Attachments



403 REDONDO DR S,
LITCHFIELD PARK, AZ

Addition Request

Residential Shed Conversion
habitable accessory building



Photos of Intended Addition Site



Materials/Color Scheme



The addition will match the design and style of the existing storage shed on the other end of the lot. We plan to use matching **wood styled paneling** and a **shingled roof**, all within the same color palette of **black, white, dark gray and natural wood** to create a cohesive look across the property.



Materials/Color Scheme

Style



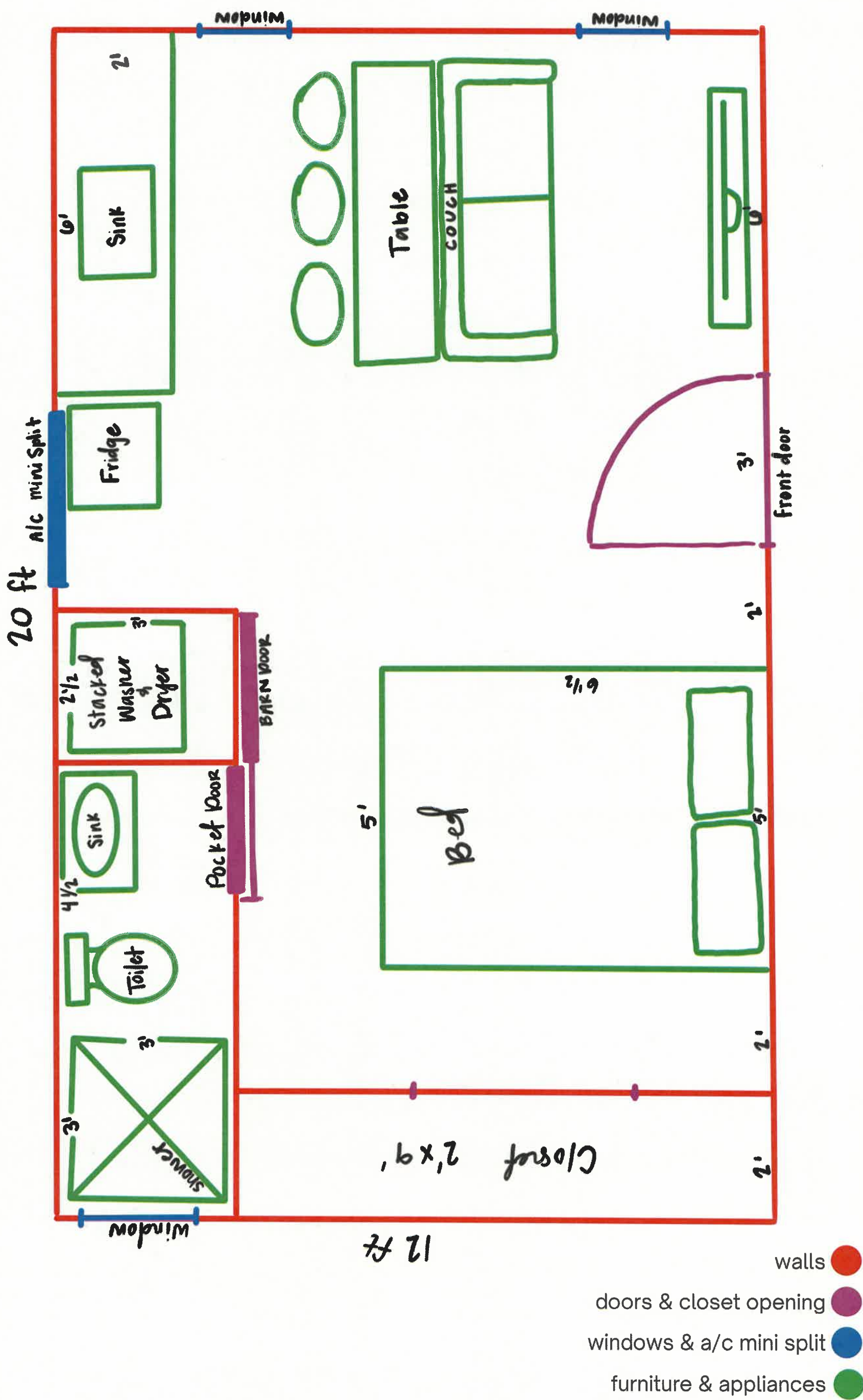
The addition will be a dormer-style shed with a small attached porch, as envisioned in the illustration.

NOT TO SCALE



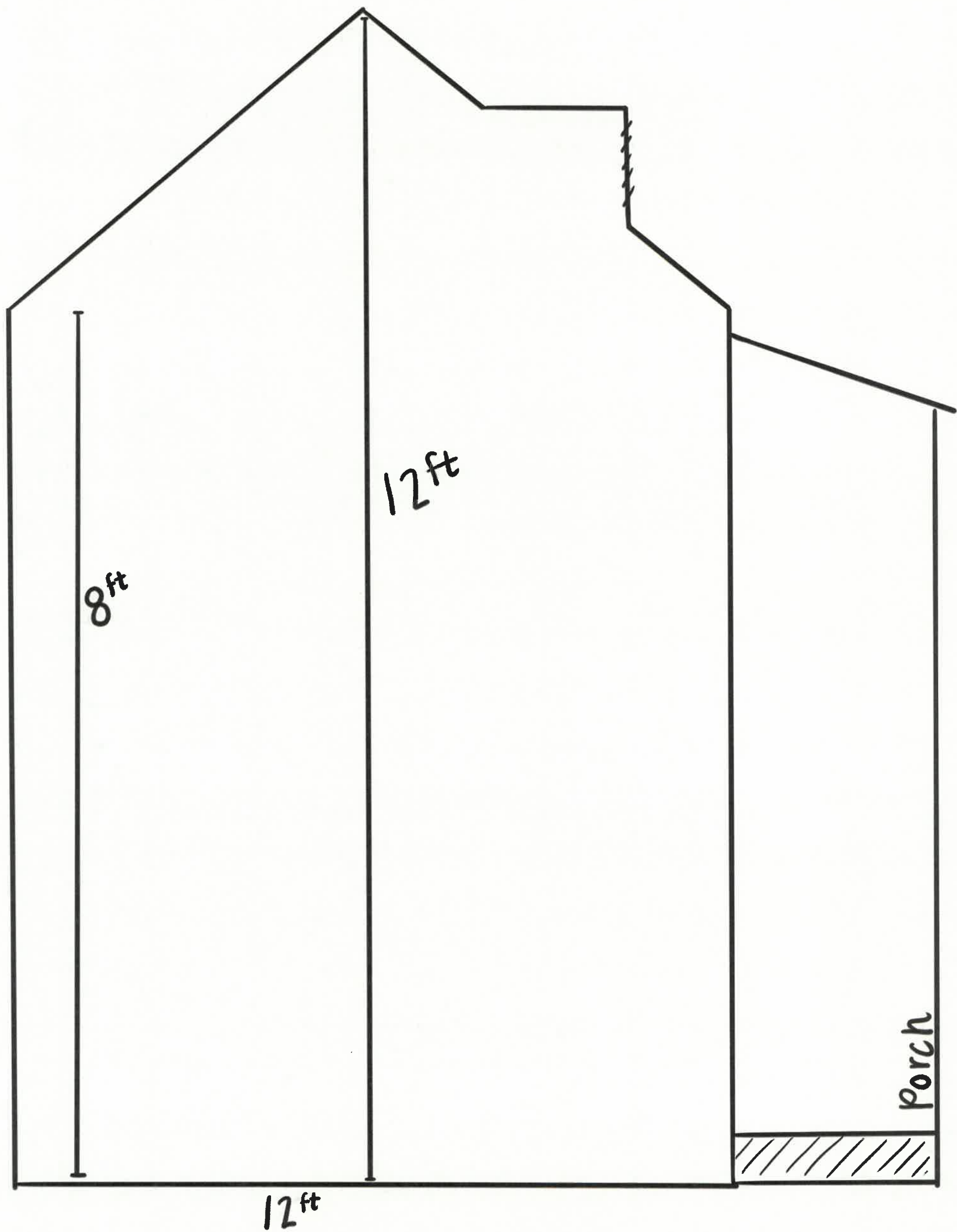
Prepared Plans

Layout



Prepared Plans

Layout



Property Site Plans

Addition Placement

NOT DRAWN TO SCALE

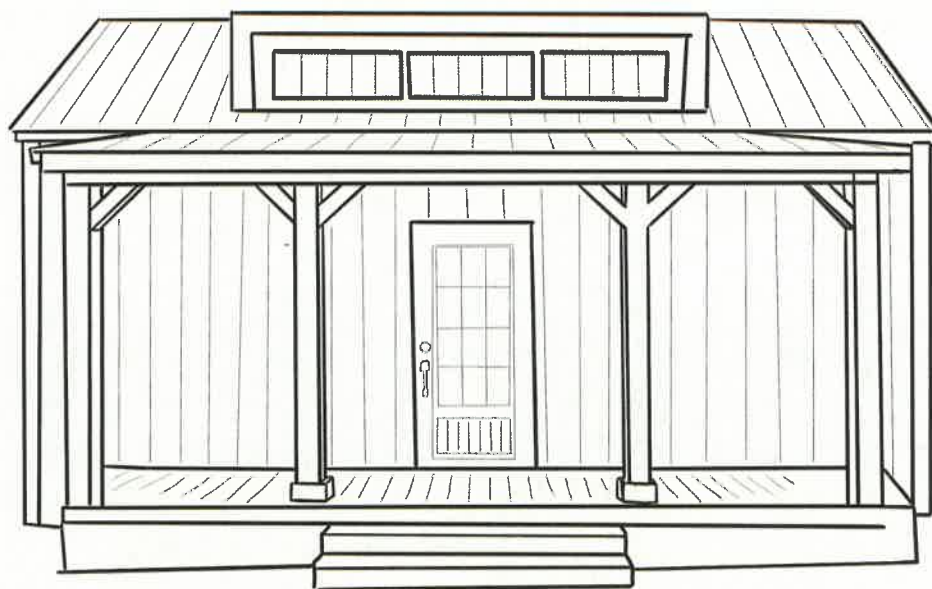


10.5 feet from the house and back wall
7 feet from the neighboring wall



Each Corner
of the Property

(if needed)



Thank You

ROBERT AND AUTUMN COX



This is an example of the Dormer Style conversion. Our design will have a different color scheme to match our existing smaller storage shed and our home. The window placement will also be different, shown in our interior layout.