

Design Review Board
Regular Meeting
Agenda

Litchfield Park Branch Library
Community Room
101 W. Wigwam Blvd.
Litchfield Park, AZ 85340

Thursday, September 3, 2026

6:00 PM

Members of the Litchfield Park Design Review Board will attend either in person, by telephone, or video conference call.

Physical access to the meeting room will be available 30 minutes prior to the meeting.

I. Call to Order

- A. The agenda and packet are available at: www.litchfieldpark.gov**
- B. A video recording of the meeting can be seen [here](#) the next business day.**

II. Pledge of Allegiance

III. Call to the Community

This is the time for citizens who would like to address the Commission on any non-agenda item. Action taken as a result of public comment will be limited to asking staff to review the matter, asking that the matter be put on a future agenda, or responding to criticism.

IV. Business

A. The Venue Design Review (PZ-26-40)

ACTION/COMMENT

Presenter: **Randy Proch, Planning & Community Development Director**

Discussion and possible action to recommend approval to the Zoning Administrator for a new freestanding commercial building located at 111 W. Honeysuckle Street.

V. Staff Report on Current Events

VI. Board Members Reports on Current Events

VII. Adjournment

Susan Charnetsky, Chair

Affidavit of Posting

I, Rena Dosch, do hereby certify that I caused to be posted a true and correct copy of this agenda for the Design Review Board meeting of Thursday, September 3, 2026, in the following place in the City of Litchfield Park:

1. City Hall, outside bulletin board
2. City Website

Rena Dosch, Planning Assistant



DESIGN REVIEW BOARD COMMUNICATION

Business Item IV.A
The Venue Design Review (PZ-26-40)

To: Design Review Board Members
From: Randy Proch, Planning & Community Development Director
Meeting Date: 9/3/2026

RECOMMENDED MOTION:

MOVE TO RECOMMEND APPROVAL TO THE ZONING ADMINISTRATOR FOR THE PROPOSED TWO STORY COMMERCIAL BUILDING 'THE VENUE', FILE NO. PZ-26-40, SUBJECT TO THE EXHIBITS PROVIDED BY THE APPLICANT AND STIPULATIONS 1 AND 2.

BACKGROUND/DISCUSSION:

The proposal is to build a new commercial building at the site of the current Ribbon's Tea House. The location is 111 W. Honeysuckle Street and is zoned NC PD.

The applicant has requested a demolition permit for the current Ribbon's building and will be constructing a two-story commercial space as a restaurant and event space. The property is currently zoned NC PD, which in turn would require additional considerations for parking and landscaping. A separate, parallel effort is underway for the applicant to rezone to City Center (CTR) zoning district, which would allow shared use of open space and parking as is subject for the rest of the Litchfield Square project. The 6,050 would utilize the zero-foot setbacks permitted in CTR and make a permanent fire loop around the Lumen (CenturyLink) building through separate review. The proposed architecture is consistent with the CTR standards found within Litchfield Square. Staff is advancing this proposal to the DRB under the Enhanced Track for recommendation.

This is the second presentation with updated renderings based on feedback received last month. Staff has not received any public comments on this proposal.

STAFF RECOMMENDATION:

Staff requests that the Design Review Board take the following action:

Recommend approval to the Zoning Administrator, subject to the exhibits provided by the applicant and stipulation 1.

1. Staff approval cannot occur until the property has been rezoned to City Center (CTR) zoning district.
2. Recommendation to the Zoning Administrator will be brought forward to the City

Council for final approval, pending the CTR rezoning.

FINANCIAL IMPACT:

N/A

ATTACHMENTS:

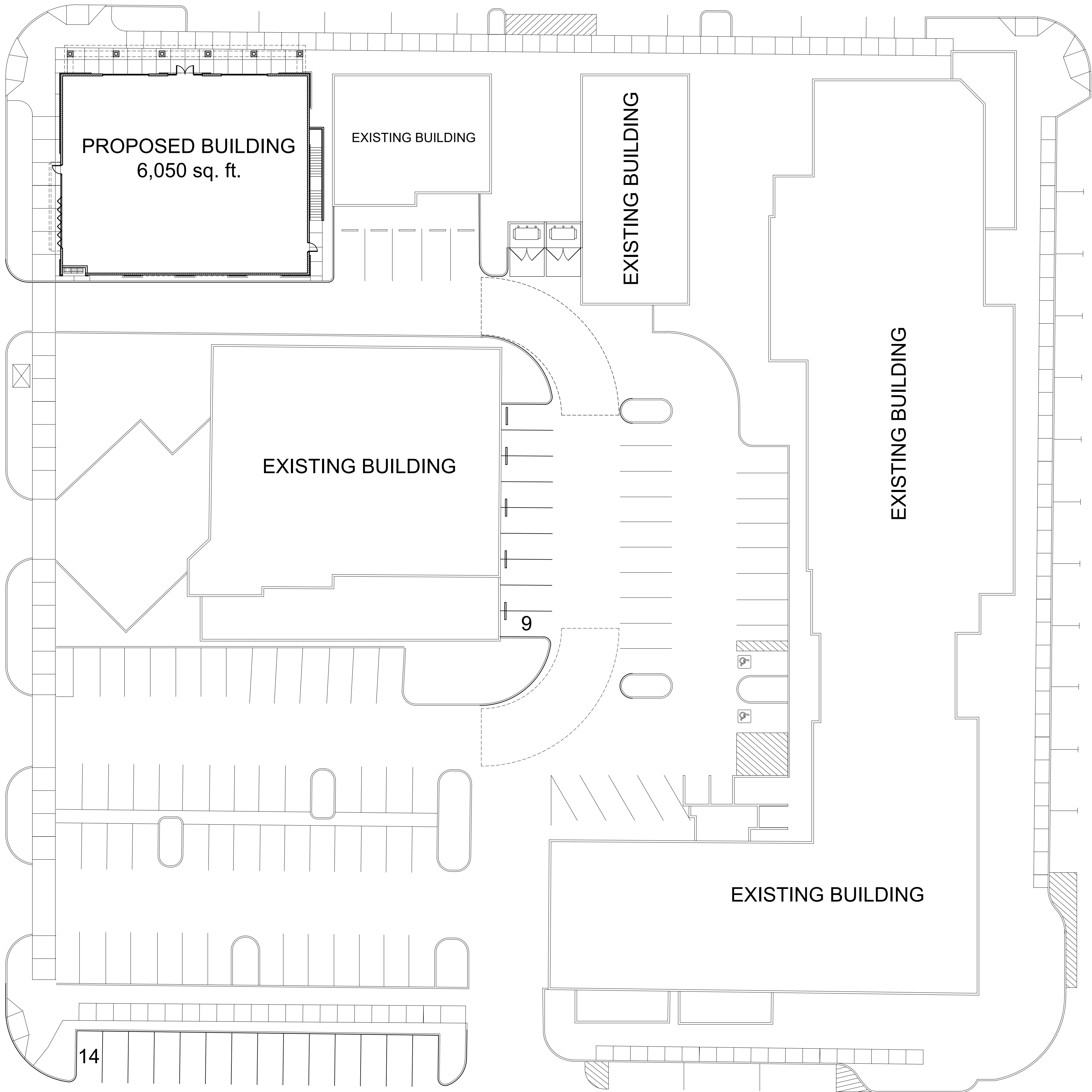
1. PZ-26-40 The Venue Report Attachments

DESERT AVENUE

HONEYSUCKLE STREET

OLD LITCHFIELD ROAD

WIGWAM BLVD



PROPOSED BUILDING
6,050 sq. ft.

EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

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THE VENUE
111 WEST HONEYSUCKLE STREET
LITCHFIELD PARK, ARIZONA 85340

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OVERALL
SITE PLAN

A100

PHNX JOB NUMBER: 24-714

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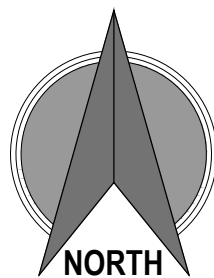
THE VENUE
111 WEST HONEYSUCKLE STREET
LITCHFIELD PARK, ARIZONA 85340

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PROPOSED
SITE PLAN

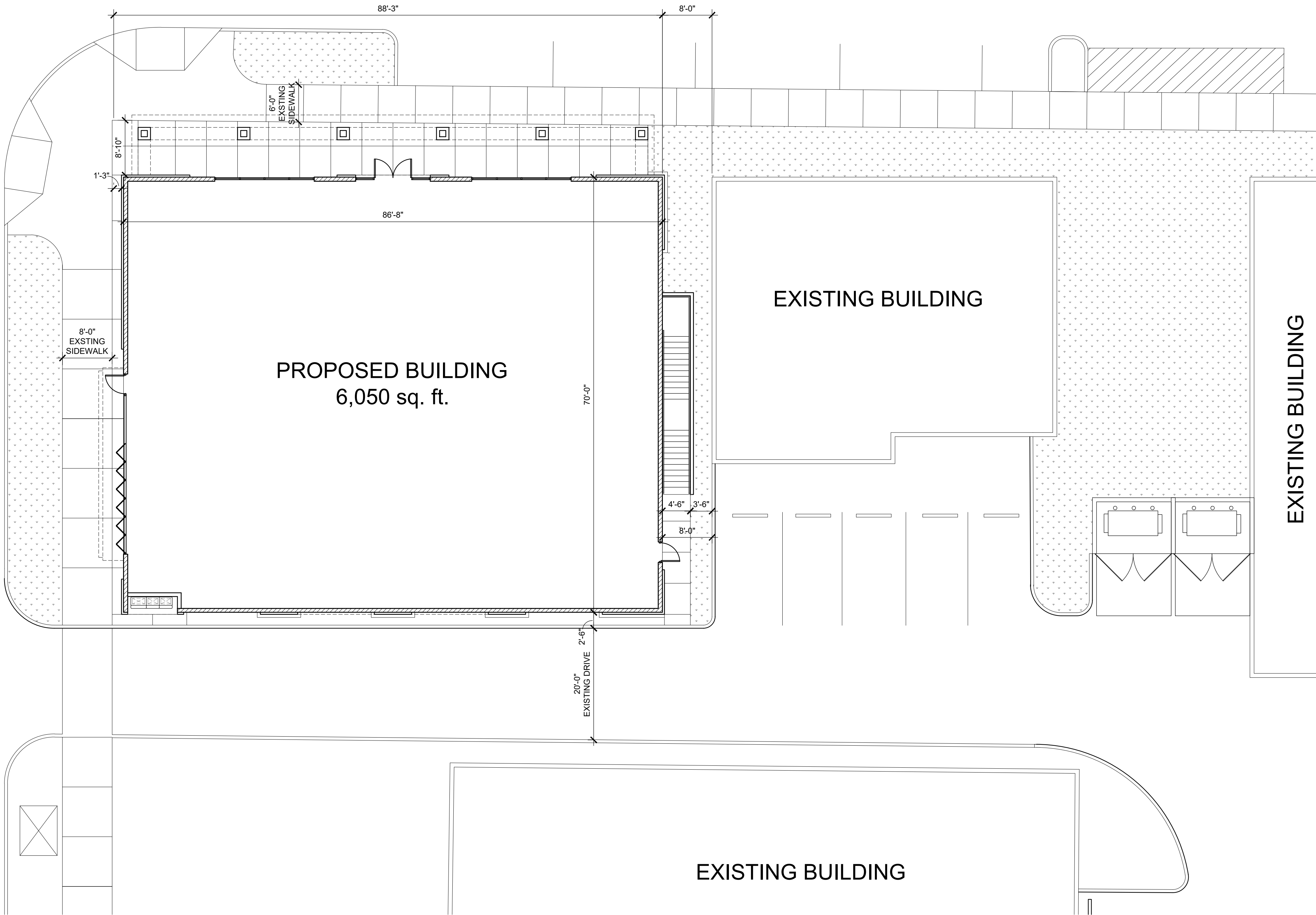
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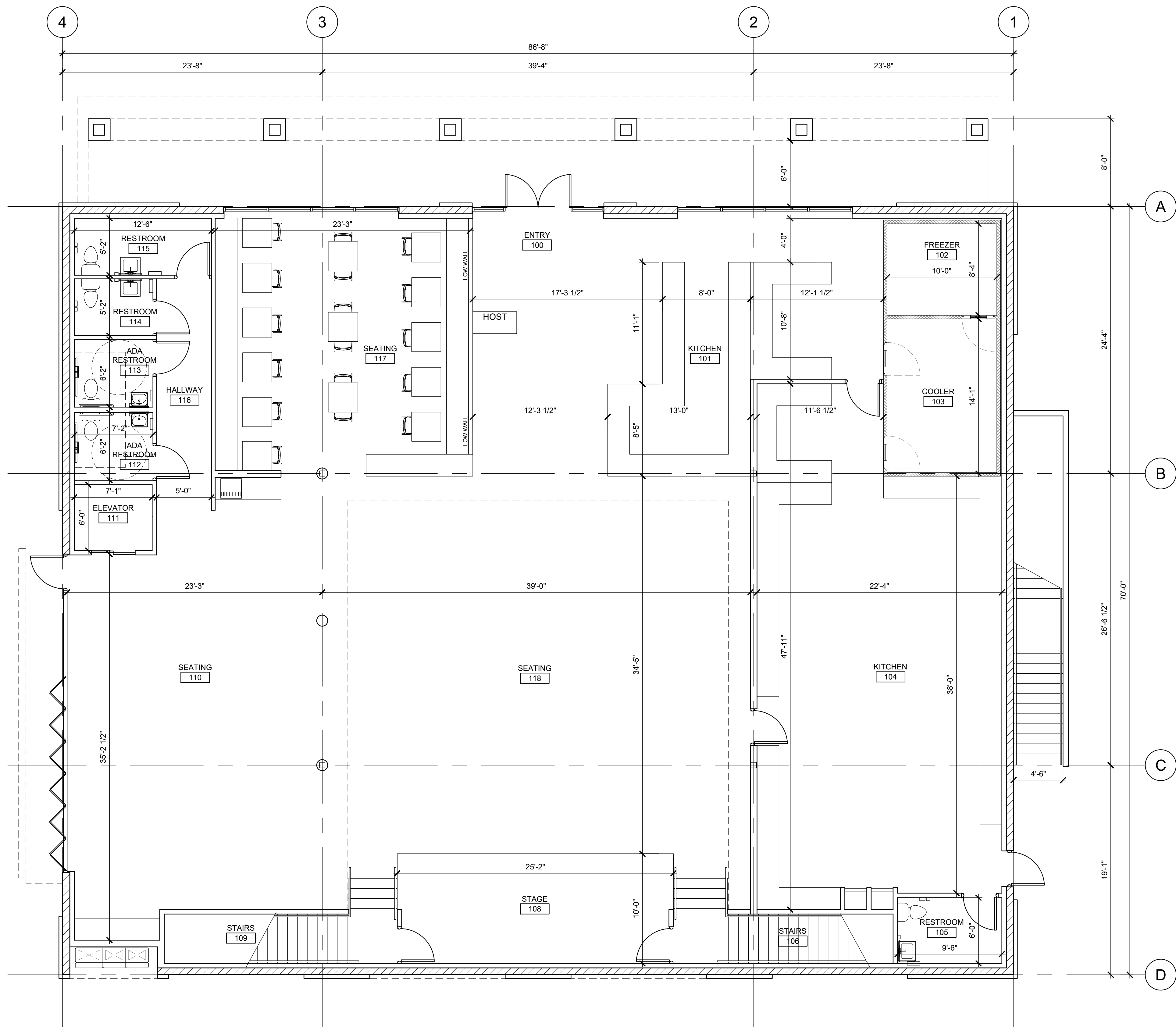
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DESERT AVENUE

HONEYSUCKLE STREET





OCCUPANT LOAD CALCULATION

PER 2018 IBC TABLE 1004.5

1ST FLOOR:		
SEATING:	1,680 SQ. FT. / 15 =	112 OCCUPANTS
STAGE:	248 SQ. FT. / 15 =	17 OCCUPANTS
KITCHEN:	1,373 SQ. FT. / 200 =	7 OCCUPANTS
STORAGE:	224 SQ. FT. / 300 =	1 OCCUPANTS
HALLWAYS:	1,574 SQ. FT. / 0 =	0 OCCUPANTS
ELEVATOR:	42 SQ. FT. / 0 =	0 OCCUPANTS
RESTROOMS:	247 SQ. FT. / 0 =	0 OCCUPANTS
INTERIOR WALL SPACE:	478 SQ. FT. / 0 =	0 OCCUPANTS

2ND FLOOR:		
SEATING:	1,343 SQ. FT. / 15 =	99 OCCUPANTS
OFFICE:	150 SQ. FT. / 150 =	1 OCCUPANTS
BAR:	432 SQ. FT. / 200 =	3 OCCUPANTS
HALLWAYS:	1,727 SQ. FT. / 0 =	0 OCCUPANTS
ELEVATOR:	42 SQ. FT. / 0 =	0 OCCUPANTS
RESTROOMS:	188 SQ. FT. / 0 =	0 OCCUPANTS
INTERIOR WALL SPACE:	400 SQ. FT. / 0 =	0 OCCUPANTS

TOTAL 1ST FLOOR OCCUPANT LOAD:	137 OCCUPANTS
TOTAL 2ND FLOOR OCCUPANT LOAD:	103 OCCUPANTS
TOTAL OVERALL OCCUPANT LOAD:	240 OCCUPANTS

EXITING:
PER 2018 IBC TABLE 1006.2.1

TOTAL OCCUPANT LOAD:	240 OCCUPANTS
REQUIRED:	2 EXITS
PROVIDED:	4 EXITS

PLUMBING CALCULATION

PER 2018 IBC TABLE 2902.1

OCCUPANT LOAD:	240 PERSONS
MEN	240 / 2 = 120 MALES
WOMAN	240 / 2 = 120 FEMALES
WATER CLOSETS:	
MEN	1 PER 75 = 2 REQUIRED/5 PROVIDED
WOMEN	1 PER 75 = 2 REQUIRED/4 PROVIDED
LAVS:	
MEN	1 PER 200 = 1 REQUIRED/5 PROVIDED
WOMEN	1 PER 200 = 1 REQUIRED/4 PROVIDED
SERVICE SINK	1 REQUIRED / 1 PROVIDED
WATER FOUNTAIN	
1 PER 500 =	WATER PROVIDED BY OWNER



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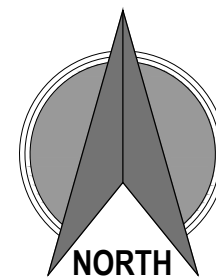
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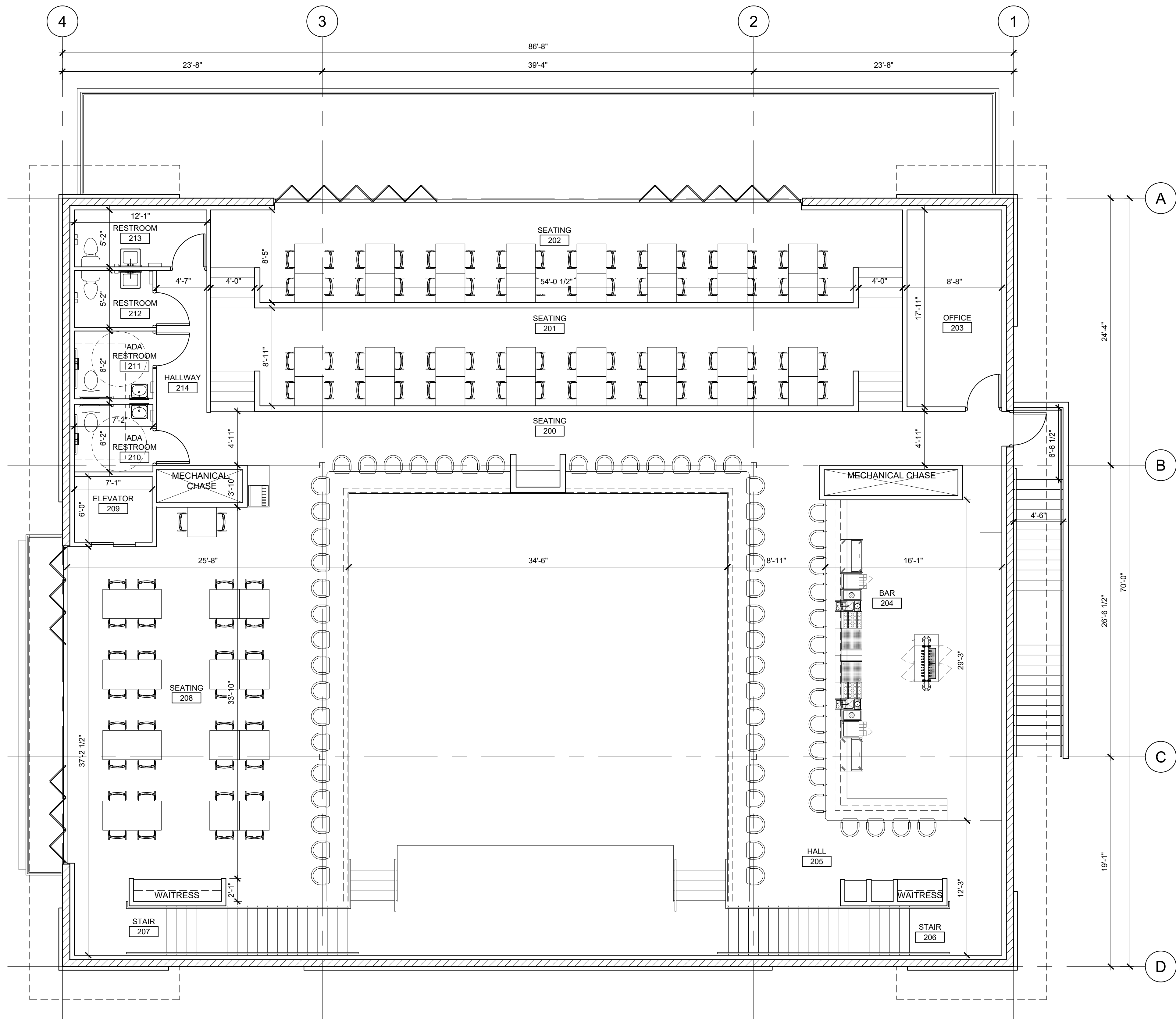
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PROPOSED 1st
FLOOR PLAN

A200

PHNX JOB NUMBER: 24-714





OCCUPANT LOAD CALCULATION

PER 2018 IBC TABLE 1004.5

2ND FLOOR:		
SEATING:	1,343 SQ. FT. / 15 =	99 OCCUPANTS
OFFICE:	150 SQ. FT. / 150 =	1 OCCUPANTS
BAR:	432 SQ. FT. / 200 =	3 OCCUPANTS
HALLWAYS:	1,727 SQ. FT. / 0 =	0 OCCUPANTS
ELEVATOR:	42 SQ. FT. / 0 =	0 OCCUPANTS
RESTROOMS:	188 SQ. FT. / 0 =	0 OCCUPANTS
INTERIOR WALL SPACE:	400 SQ. FT. / 0 =	0 OCCUPANTS
TOTAL 2ND FLOOR OCCUPANT LOAD:		103 OCCUPANTS

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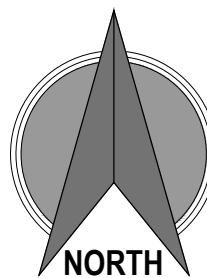
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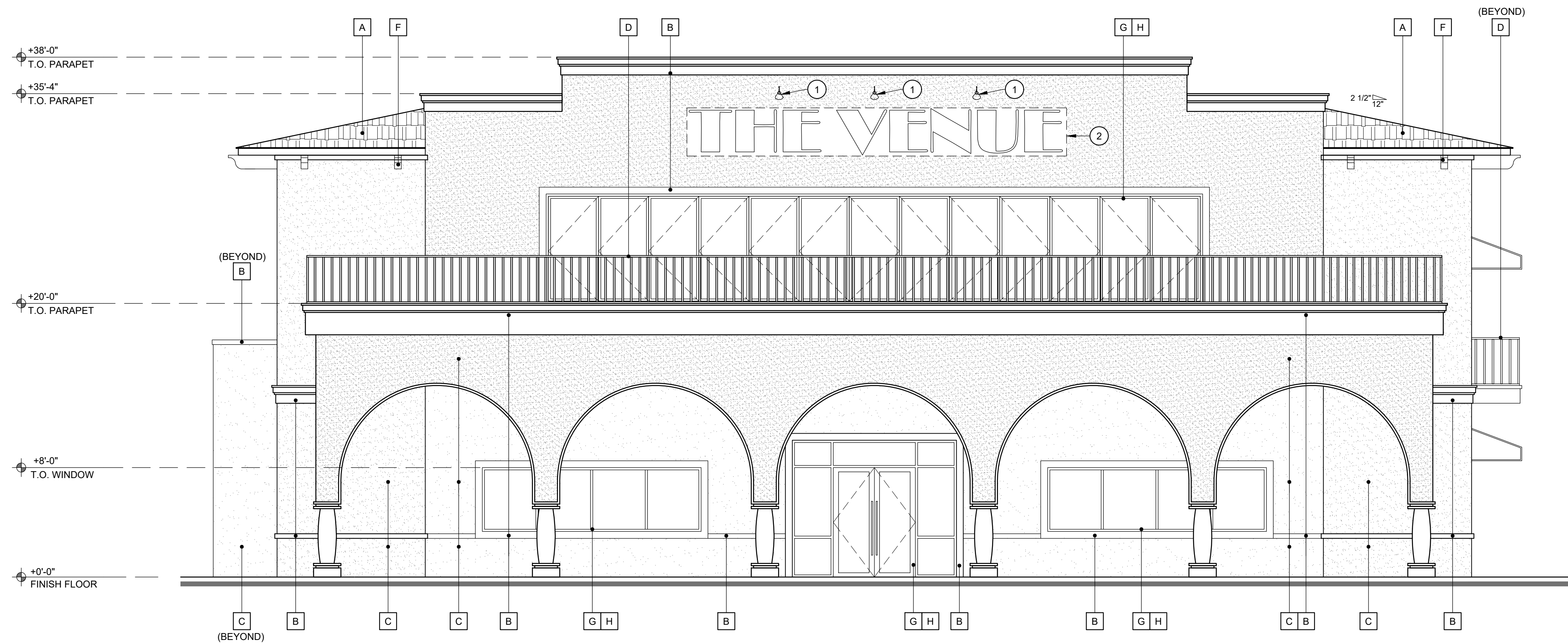
PROPOSED 2nd
FLOOR PLAN

A201

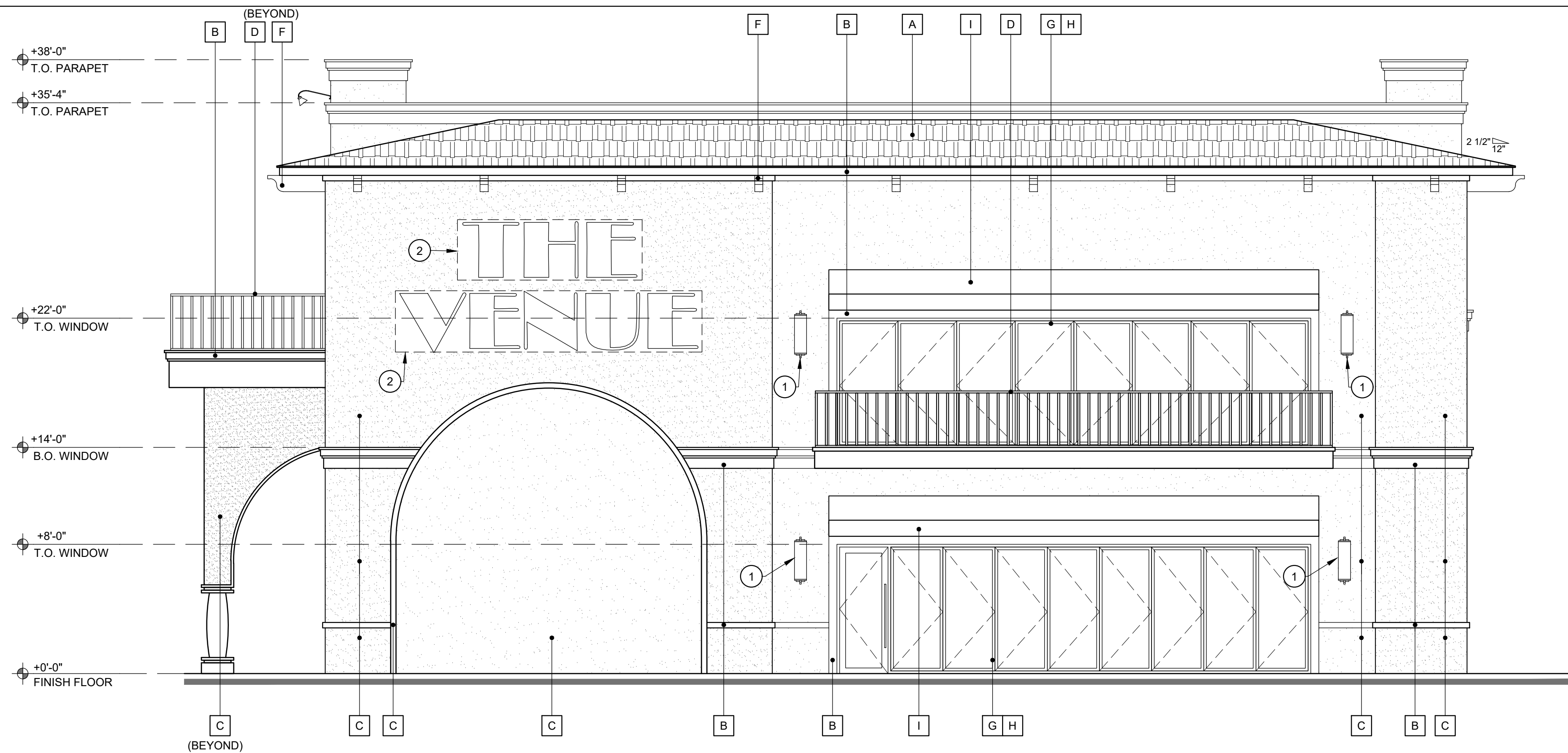
PHNX JOB NUMBER: 24-714



GENERAL NOTES:	FINISH KEYNOTES:	KEYNOTES:
A. ALL MASONRY JOINTS SHALL BE TOOLED CONCAVE. B. CLEAN / PREPARATION OF MASONRY PRIOR TO PAINTING/EIFS. C. SEE STRUCTURAL DRAWINGS & SPECIFICATIONS FOR HORIZONTAL & VERTICAL MASONRY REINFORCING REQUIREMENTS. E. GENERAL CONTRACTOR TO SUBMIT QUESTIONS IN "RFI" FORMAT TO ARCHITECT WITH ANY DISCREPANCY OR ISSUE ON THE PROJECT PRIOR TO BEGINNING WORK OF SPECIFIC ITEM. F. ALL UNEXPOSED UNFINISHED METAL AND WOOD SHALL BE PAINTED, COLOR SELECTED BY ARCHITECT.	A. TILE ROOF - MISSION "S" NEWPOINT CONCRETE ROOF TILE COLOR: TERRA COTTA B. STUCCO FINISH ON FOAM SHAPED CORNICE PAINT: SHERWIN WILLIAMS - SW 7630 "RAISIN" C. STUCCO - PAINTED FINSH SMOOTH SAND FINISH COLOR: SHERWIN WILLIAMS - SW 7005 "PURE WHITE" D. METAL / METAL RAILING PAINTED: SHERWIN WILLIAMS - SW 6258 "TRICORN BLACK" E. HOLLOW METAL DOOR PAINTED: SHERWIN WILLIAMS - SW 7005 "PURE WHITE" F. ROUGH SAWN WOOD BEAM - CLEAR SEALED G. ANODIZED ALUMINUM STOREFRONT SYSTEM MANUFACT: KAWNEER OR APPROVED EQUAL COLOR: BLACK H. 1" INSULATED GLAZING VALUE: (U=0.29, SHGC= 0.28) I. EXTERIOR VINYL AWNING COLOR: BLACK	# KEYNOTES: 1. EXTERIOR LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS. 2. DASHED LINE INDICATES LOCATION OF FUTURE SIGNAGE (N.I.C.).



2	NORTH EXTERIOR ELEVATION - FRONT	SCALE: 3/16" = 1'-0"
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1	WEST EXTERIOR ELEVATION - RIGHT SIDE	SCALE: 3/16" = 1'-0"
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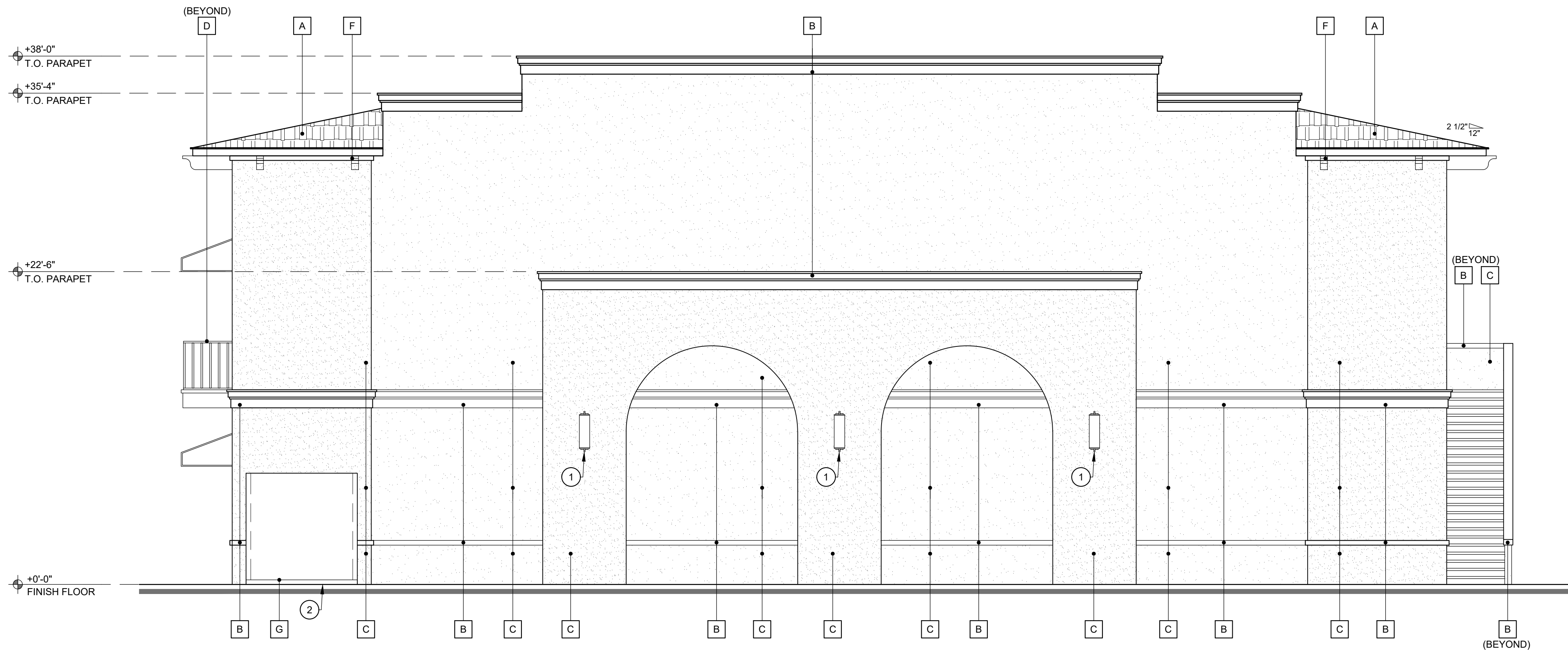
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EXTERIOR
ELEVATIONS

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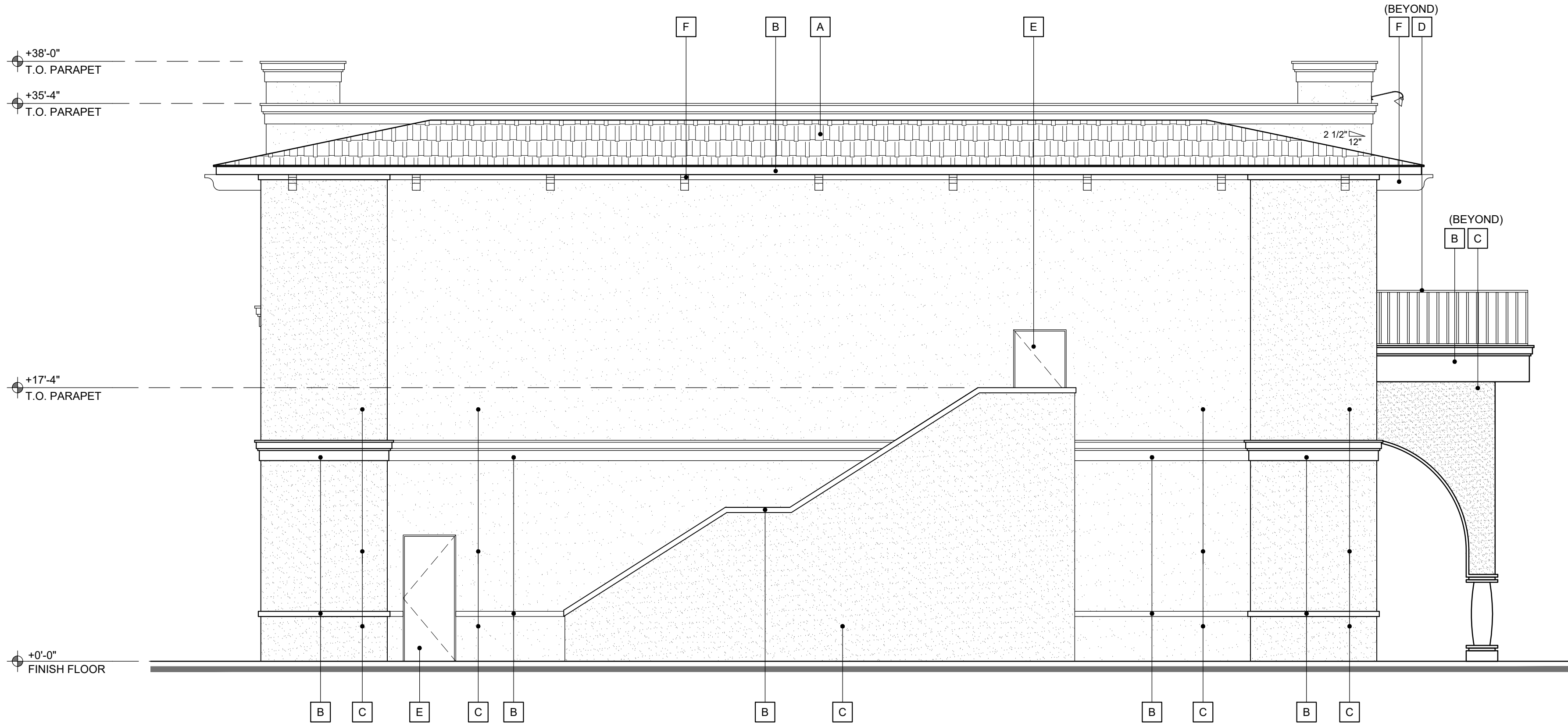
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2 SOUTH EXTERIOR ELEVATION - REAR

SCALE: 3/16" = 1'-0"



1 EAST EXTERIOR ELEVATION - LEFT SIDE

SCALE: 3/16" = 1'-0"

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EXTERIOR
ELEVATIONS

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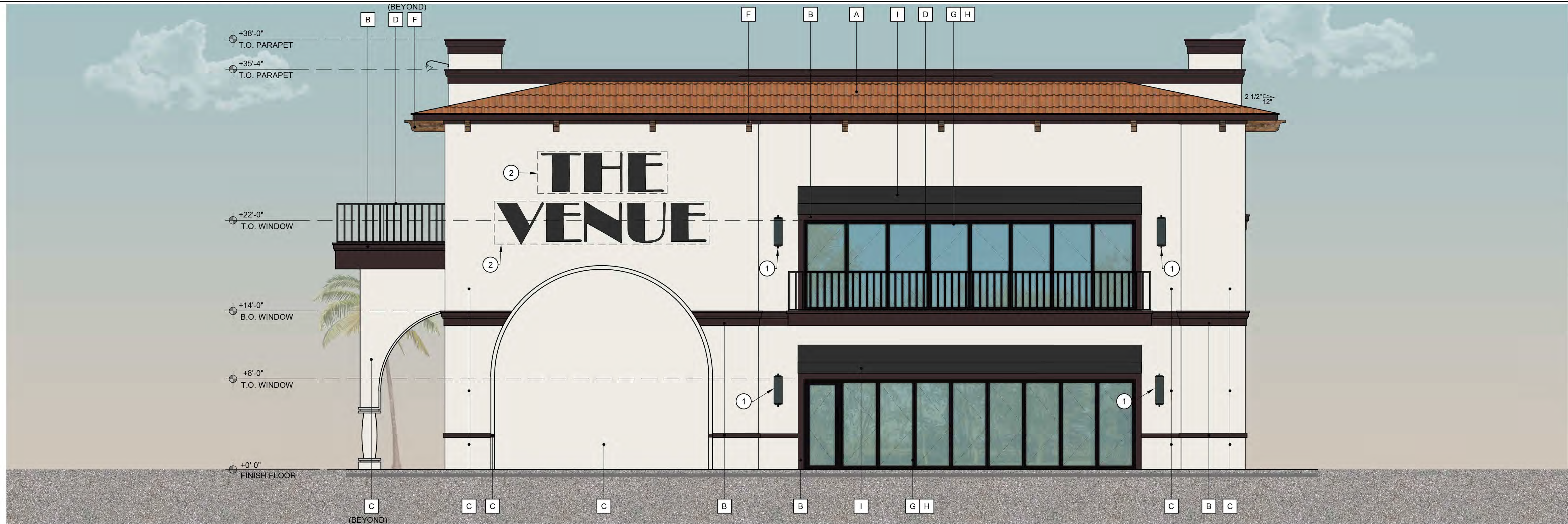
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2 NORTH EXTERIOR ELEVATION - FRONT

SCALE: 3/16" = 1'-0"



1 WEST EXTERIOR ELEVATION - RIGHT SIDE

SCALE: 3/16" = 1'-0"

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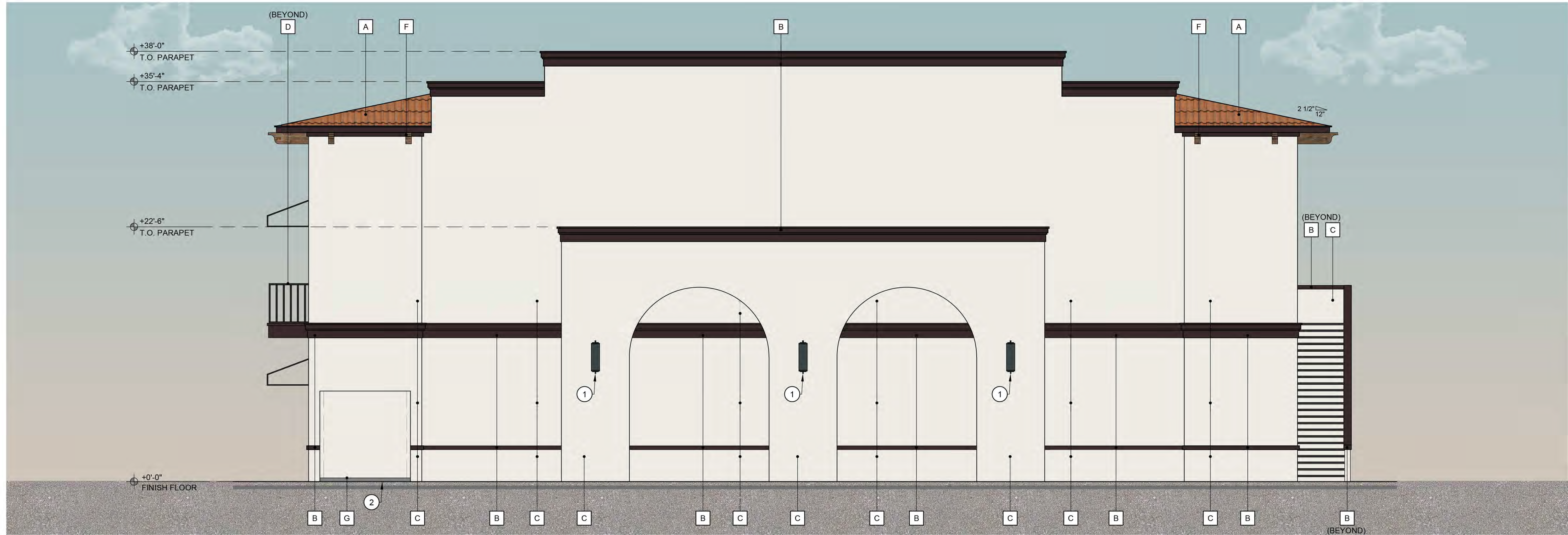
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EXTERIOR
ELEVATIONS

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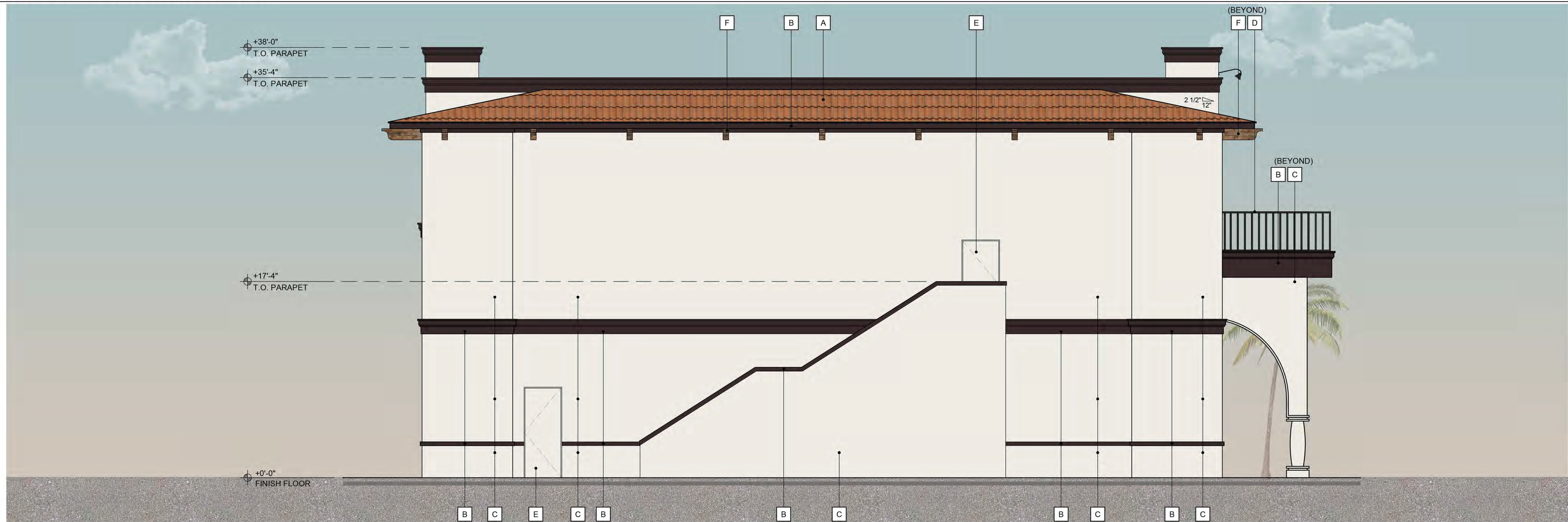
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2 SOUTH EXTERIOR ELEVATION - REAR

SCALE: 3/16" = 1'-0"



1 EAST EXTERIOR ELEVATION - LEFT SIDE

SCALE: 3/16" = 1'-0"

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PERPECTIVE

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PERSPECTIVE

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PERPECTIVE

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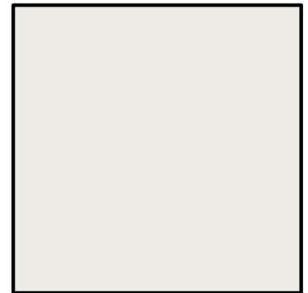




TILE ROOF - MISSION "S"
NEWPOINT CONCRETE
ROOF TILE
COLOR: TERRA COTTA



STUCCO FINISH ON FOAM
SHAPED CORNICE
PAINT: SHERWIN WILLIAMS
– SW 7630 "RAISIN"



STUCCO - PAINTED
FINISH SMOOTH SAND
FINISH
COLOR: SHERWIN
WILLIAMS – SW 7005
"PURE WHITE"



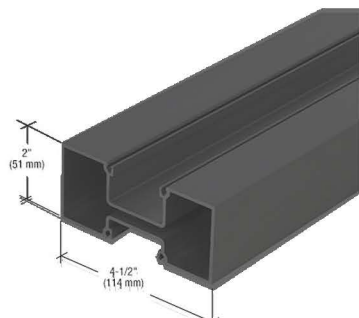
METAL / METAL RAILING
PAINTED: SHERWIN
WILLIAMS - SW 6258
"TRICORN BLACK"



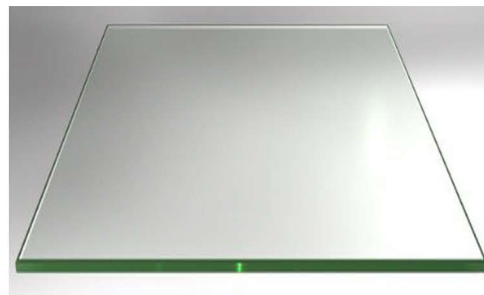
ROUGH SAWN WOOD
BEAM - CLEAR SEALED



METAL FASCIA / CANOPY
ATAS
PAINT: DUNN EDWARDS
DE6399 BIG "MOLASSES"



ALUMINUM STOREFRONT, REALING
AND SECTION DOOR
MANUFACT: KAWNEER
COLOR: BLACK



1" INSULATED GLAZING, REALING
AND SECTION DOOR
VALUE: (U=0.29, SHGC= 0.28)